

**AGENDA
CITY OF SWARTZ CREEK
PLANNING COMMISSION
PAUL D. BUECHE MUNICIPAL BUILDING
TUESDAY, OCTOBER 13, 2020, 7:00 P.M.**

- 1. CALL TO ORDER:**
- 2. PLEDGE OF ALLEGIANCE:**
- 3. ROLL CALL:** Binder, Campbell, Farmer, Farrell, Grimes, Krueger, Novak, Wyatt, Zuniga.
- 4. APPROVAL OF AGENDA:**
- 5. APPROVAL OF MINUTES:**
- 6. CORRESPONDENCE:**
 - A. Resolutions
 - B. Minutes: March 10, 2020
 - C. Staff Meeting Letter
 - D. 7550 Miller Site Plan Application
 - E. CIB Review Letter
 - F. 7550 Miller Site Plan (PDF & Full Size for Commissioners)
- 7. MEETING OPENED TO PUBLIC (NON-PUBLIC HEARING ITEMS):**
- 8. BUSINESS:**
 - A. 7550 Miller Site Plan Application
- 9. MEETING OPENED TO THE PUBLIC:**
- 10. REMARKS BY PLANNING COMMISSION MEMBERS:**
- 11. ADJOURNMENT:**

**RESOLUTIONS
CITY OF SWARTZ CREEK
PLANNING COMMISSION
PAUL D. BUECHE MUNICIPAL BUILDING
TUESDAY, OCTOBER 13, 2020, 7:00 P.M.**

Resolution No. 201013-__ **Agenda –October 13, 2020**

Motion by Planning Commission Member: _____

I Move the Swartz Creek Planning Commission approves the agenda for the October 13, 2020 Planning Commission meeting.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

Resolution No. 201013-__ **Minutes – March 10, 2019**

Motion by Planning Commission Member: _____

I Move the Swartz Creek Planning Commission approves the Minutes for the March 10, 2019 Planning Commission meeting.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

Resolution No. 201013-__ **Resolution to approve a site plan for 7550 Miller Road;
58-36-552-010, to enable improvements and use for
medical office**

Motion by Planning Commission Member: _____

WHEREAS, the city received a proposal to expand a current medical office, including the provision of parking area and related site improvements, and;

WHEREAS, the project includes building alterations, building additions, and alterations to the grounds surrounding the property, and;

WHEREAS, the planning commission acknowledges the prior demolition of a commercial building on this site, a factor that accounted for prior density and impervious surface, and;

WHEREAS, the planning commission, in reviewing the application materials and review criteria in Zoning Ordinance, finds the proposed site plan for the building and parking improvements meets the intent of the zoning ordinance, and;

WHEREAS, the planning commission finds that the site plan, would meet all other general and specific standards applicable if the following conditions are met:

1. _____

NOW, BE IT RESOLVED that the Swartz Creek Planning Commission hereby approves the site plan, dated October 6, 2020, subject to the conditions in this resolution and final approval of the zoning petition by the city council.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

Resolution No. 201013-__ Adjourn

Motion by Planning Commission Member: _____

I Move the Swartz Creek Planning Commission adjourns the October 13, 2020 Planning Commission meeting.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

**CITY OF SWARTZ CREEK
SWARTZ CREEK, MICHIGAN
MINUTES OF PLANNING COMMISSION MEETING
March 10, 2020**

Meeting called to order at 7:01 p.m. by Commissioner Wyatt.

Pledge of Allegiance.

ROLL CALL:

Commissioners present: Farrell, Campbell, Novak, Krueger, Farmer, Zuniga, Wyatt.

Commissioners absent: Binder, Grimes.

Staff present: Adam Zettel, City Manager.

Others present: Dennis Cramer, Nate Henry, Linda Sebeka, Len & Sharon Thomas, Lloyd & Susan Swan, Bob Plumb, Lee Hubbard, Gloria Hubbard. Glenn Wilson, Michael Wright, Eric Maring, Carmine Avantini.

EXCUSE COMMISSIONERS BINDER & GRIMES

Resolution No. 200310-01

(Carried)

Motion by Planning Commission Member Krueger
Second by Planning Commission Member Farmer

I Move the Swartz Creek City Council excuse Planning Commission Members Binder & Grimes.

YES: Unanimous Voice Vote.

NO: None. Motion declared carried.

APPROVAL OF AGENDA:

Resolution No. 200310-02

(Carried)

Motion by Commissioner Zuniga support by Commissioner Farrell, the Swartz Creek Planning Commission approves the agenda for the March 10, 2020 Planning Commission meeting.

Unanimous Voice Vote
Motion Declared Carried

APPROVAL OF MINUTES:

Resolution No. 200310-03

(Carried)

Motion by Commissioner Krueger support by Commissioner Campbell the Swartz Creek Planning Commission approves the minutes for the February 4, 2020 Planning Commission meeting.

Unanimous Voice Vote
Motion Declared Carried

MEETING OPENED TO THE PUBLIC:

None.

BUSINESS:

No Conflict of Interest

Resolution No. 200310-04

(Carried)

Motion by Commissioner Farmer support by Commissioner Farrell the Swartz Creek Planning Commission that Commissioner Zuniga has no conflict of interest related to the Mary Crapo Project.

Yes: Krueger, Farmer, Wyatt, Farrell, Campbell, Novak.
No: None. Motion Carried.

Mary Crapo Project

Presentation

Michael Wright, Communities First Inc., gave a brief overview of Communities First Inc. The application before you today is for redevelopment of the Mary Crapo School Building to the secretary of interior standards for historic rehabilitation. The building will be redeveloped into 40 units. This will include an addition to the building. The site itself is 2.2 acres, the parking and the building. Asking for a rezoning for just the 2.2 acres and site plan approval for that same area. The larger parcel, the ballfield portion, is not included in this proposal. They are discussing with the city/school district for controlling and maintaining that ballfield area. They will be going before the city to request a Pilot, payment in lieu of taxes.

Eric Maring, Hooker/Dejong Architects & Engineers, reviewed the plan. He reconfirmed that the plans do not include the green space.

Carmine Avantini, CIB, reviewed the application for rezoning review.

He is recommending the board recommend approval of the rezoning request from R3 Downtown Residential to RM1 Multiple Family Residential District for the following reasons:

1. The proposed rezoning supports the desired uses within the mixed use of future land use category of the city's master plan.
2. The rezoning accomplishes the city's land use goals of providing a variety of lifestyle and housing types and mixed of dwelling types in densities.
3. There is a need to provide additional land use zoned for multiple family housing as well as for aging /senior populations.
4. Rezoning the land for multiple family residential addresses a community need, which is multiple family housing.

The site is capable of accommodating the range of uses in the RM1 district.

5. Residential use of this location is appropriate due to adjacent single multiple family housing.

He reviewed the application site plan review. They met all the dimensional standards, the statement of use was given. He wants to see all the existing curb cuts on Miller Road are removed and replaced with grass and landscaping. We need to make sure the sidewalk on the back of unit close to parking spaces will need to be a minimum of 7 feet wide. Also would like to see some additional landscaping planted to screen vehicle parking area. Also would like to see additional light specifications. The site plan is generally compliant and he is recommending approval be granted upon the condition upon the following items for administrative review and approval:

1. Submission of a revised site plan, for administrative review and approval, that addresses the outstanding items noted in the review letter of CIB Planning, dated March 5, 2020;
2. The parking spaces along the south side of the building and closest to the entrance be seven (7) feet wide to accommodate the overhang from vehicles;
3. Existing curb cuts and drive along Miller Road be removed and replaced with curbing, grass, and landscaping;
4. The submission of landscape calculations and planting a buffer of evergreens to screen the parking on the east side of the parcel; and
5. Review and approval from all applicable consultants, departments, and agencies

Public Hearing Open 7:40 p.m.

Sharon Davis, 5140 McLain Street, isn't completely clear on the front driveway. She feels that should be changed. She also would like to see some nice landscaping there, such as flowers.

Michael Wright, Communities First, replied this will only be used to drop off someone in a wheel chair, or a MTA Your Ride dropping of residents.

Everett Hubbard, 8333 Miller Road, he wants to make sure this is multiple family dwellings. He wants to make sure the park will still be available for the kids to play ball. He wanted to confirm the age.

Michael Wright, Communities First, responded this proposal is only for the school and they are working with the school/city on the green space. He also confirmed the project it is for ages 55 and up and will have 1-2 bedrooms.

Adam Zettel commented this site plan is only for the building and does not include the green space.

Everett Hubbard, commented on background checks of residents.

Glenn Wilson, Communities First, responded that there is background checks completed.

Sharon Davis wanted to know what kind of border will be around the parking space.

Glenn Wilson, Communities First, responded that currently there is a chain link fence but there

will be more screening such as landscaping.

Cheryl Bruce, 8231 Ingalls, wanted to know if the current parcel will be split.

Adam Zettel, City Manager, responded the parcel will be split.

Cheryl Bruce inquired about the one Pilot payment. She was concerned about the amount of taxes they would pay.

Adam Zettel, City Manager, explained they have a payment in lieu of taxes based on rents.

Len Thomas, 4267 Springbrook Drive, complimented Communities First for their report at the last meeting and the other projects they have done. He has been in contact with the Crapo family and wanted to make things clear that the Crapo family does not want anything to do with the project.

Linda Sebok, 8179 Miller Road, concerned about the low income housing in our community. She feels we do not need any more low income housing. She is also concerned about the traffic in the front driveway. She feels like there is other alternatives to this property. She feels we need more greenspace.

Michael Wright responded that this project will not be section 8.

Dennis Cramer, 5299 Worchester Drive, his belief is that we need something like this to take care of our community in the future.

Closed 8:07 p.m.

Carmine Avantini, regarding the site plan review we weren't aware that they wanted to continue to use the drive in front of the building. We would like to remove condition #3 from the resolution and request additional foundation landscaping across the front of the building.

Resolution to recommend approval of a zoning change to 2.2 acres of 8197 Miller Road; 58-02-526-027, to RM-1 (Multiple Family Residential) from R-3 (Downtown Residential)

Resolution No. 200204-05

(Carried)

Motion by Planning Commission Member Farmer
Second by Planning Commission Member Novak

WHEREAS, a land owner has petitioned the city to zone 2.2 acres of a parcel of land in the Downtown Residential District (R-3) to Multiple Family (RM-1), and;

WHEREAS, the petition to rezone has been reviewed by the city's planning consultant, and the planning commission as it relates to master plan objectives, future land use map, and zoning ordinance requirements; and,

WHEREAS, the planning commission, in reviewing the criteria in Zoning Ordinance Section 24.04, finds the proposed zoning ordinance map amendment for the conversion of 2.2 acres of 8197 Miller Road to RM-1 to meet the intent of the master plan and zoning amendment criteria.

BE IT RESOLVED that the City of Swartz Creek Planning Commission recommends approval of the proposed zoning map amendment to amend 8197 Miller Road to RM-1.

Yes: Krueger, Farmer, Zuniga, Wyatt, Farrell, Campbell, Novak.

No: None. Motion Carried.

Resolution to conditionally approve a site plan for a 2.2 acre portion of 8197 Miller Road; 58-02-526-027, to enable improvements and use for senior apartments

Resolution No. 200204-06

(Carried)

Motion by Planning Commission Member Farmer
Second by Planning Commission Member Novak

WHEREAS, the city received a proposal to repurpose the Mary Crapo School as senior apartments, and;

WHEREAS, the project includes building alterations, building additions, and alterations to the grounds surrounding the property (approximately 2.2 acres), and;

WHEREAS, the planning commission, in reviewing the application materials and review criteria in Zoning Ordinance, finds the proposed site plan for senior apartments meets the intent of the zoning ordinance, and;

WHEREAS, the planning commission finds that the site plan, would meet all other general and specific standards applicable if the following conditions are met:

1. Submission of a revised site plan, for administrative review and approval, that addresses the outstanding items noted in the review letter of CIB Planning, dated March 5, 2020;
2. The sidewalks along the south side of the building and closest to the entrance be seven (7) feet wide to accommodate the overhang from vehicles;
3. The submission of landscape calculations and planting a buffer of evergreens to screen the parking on the east side of the parcel; and
5. Review and approval from all applicable consultants, departments, and agencies.
6. Condition upon zoning approval from city council.

NOW, BE IT RESOLVED that the Swartz Creek Planning Commission hereby approves the site plan, dated March 3, 2020, subject to the conditions in this resolution and final approval of the zoning petition by the city council.

Yes: Farmer, Zuniga, Wyatt, Farrell, Campbell, Novak, Krueger.

No: None. Motion Carried.

Meeting Open to Public:

None.

Remarks by Planning Commission:

Commissioner Krueger commented the payment in lieu of taxes is open to negotiations at the

next council meeting.

Commissioner Novak thanked the public for coming and all the comments tonight.

Commissioner Farmer thanked everyone for coming out and he is excited about the building and looking forward to see how this will help the downtown businesses.

Adjourn

Resolution No. 200310-07

(Carried)

Motion by Planning Commission Member Farmer
Second by Planning Commission Member Novak

I Move the Swartz Creek Planning Commission adjourns the March 10, 2020 Planning Commission meeting.

Unanimous Voice Vote
Motion Declared Carried

Meeting adjourned at 8:27 p.m.

Jentery Farmer,
Secretary



Adam Zettel, AICP

City Manager

azettel@cityofswartzcreek.org

Date: October 7, 2020

To: Planning Commissioners
From: Adam Zettel, AICP
RE: October 13, 2020 Planning Commission Meeting

Hello everyone,

We will be meeting at 7:00 p.m. on October 13, 2020. This is one week later than normal and will be an in-person meeting. Attendees must follow social distancing and mask protocols.

There is one primary agenda items, the site plan for 7550 Miller Road. This is a straight forward site plan for a commercial building expansion. The site is the location for existing medical office. A local physician is relocating to this office and is expanding the building, triggering a review by the planning commission. Changes include the expansion, exterior renovations, parking, and site screening/landscaping.

CIB Planning has reviewed the site plan materials. Their initial and revised review letters are included (site plan revisions followed their initial review). Based upon the current application, they are recommending conditional approvals of the site plan.

Resolutions are written in the affirmative in line with standard practice. That is all for now. Contact me with questions or comments. If I get additional materials, I will send them along!

Sincerely,

Adam H. Zettel, AICP
City Manager
City of Swartz Creek
azettel@cityofswartzcreek.org

8083 Civic Drive
Swartz Creek Michigan 48473

Phone: (810)-635-4464

Fax: (810)-635-2887

www.cityofswartzcreek.org

<ftp://cityofswartzcreek.org>



APPLICATION FOR SITE PLAN REVIEW

**City of Swartz Creek
8083 Civic Drive
Swartz Creek, MI 48473
810-635-4464**

Date: 9/17/20 File No: _____
Fee Received: 500- Receipt No: 241761

NOTICE TO APPLICANT:

Regular meetings of the Swartz Creek Planning commission are held on the first Tuesday of each month at 7:00 PM, at the City Hall, 8083 Civic Dr. Application for site plan review shall be filed at least twenty (20) days before the scheduled meeting date.

Applicant should be familiar with all aspects of the City's Zoning Appendix A pertinent to the site plan application, including but not limited to: the appropriate level of site plan review, the site plan process, review standards, performance guarantees, use restrictions, landscaping, parking, design standards, fees, and enforcement.

TO THE PLANNING COMMISSION:

I, (We), the undersigned, do hereby respectfully make application and petition the Planning Commission to recommend approval of the attached site plan as hereinafter requested, and in support of this application, the following facts are shown.

Furthermore, I (We) have attached proof of ownership, information regarding the number of peak employees anticipated to accompany the site plan uses, and the names, addresses, and telephone/fax numbers of any and all engineers, attorneys, architects, and other professionals associated with this project.

The property is located and described, as follows:

Assessment Roll Description No. 58-36 - 552 - 010,

Address: 7550 Miller Rd

Other description: Attached

It has a frontage of: _____ feet and a depth of: _____ feet. Total acreage is: _____

PRESENT ZONING: see site PLAN

If the property is in acreage, and is not therefore a part of a recorded plat: The subject property is located and described as follows: (indicate total acreage also).

Assessment Roll Description No. 58-36 - 552 - 010,

SITE PLAN APPLICANT INFORMATION:

Name: Phil Banacki

Address: 7550 Miller Rd

Phone Number: 8103974278 Email Address: pbanacki @ yahoo.com

SUBJECT PROPERTY IS OWNED BY:

Name: MAHEESH SHARMA (Templar Midwest, LLC)

Address: 8272 Misty Meadows, Grand Blanc MI

Phone Number: 8103974278

It is proposed that the property will be put to the following use:

Dr Office

It is proposed that the following building(s) will be constructed (note gross sq. ft of each):

See site PLAN

Signature of Applicant:  Phone Number: 8103974278

Email Address: pbanacki @ yahoo.com

Signature of Owner: _____ Phone Number: 8103974278

7550 Miller



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
WOODSIDE BUILDERS II, INC	TEMPLAR MIDWEST, LLC	170,000	08/16/2019	WD	ARMS-LENGTH	20190829005709		100.0
VINCENT, RONALD & CAROL	VINCENT, CAROL TRUST	0	01/06/2003	QC	INVALID SALE	20030109000		0.0
VINCENT, RONALD	WOODSIDE BUILDERS	125,000	05/29/1997	LC	ARMS-LENGTH	3529/578		100.0

Property Address	Class: COMMERCIAL IMPROV	Zoning: CBD (Building Permit(s)	Date	Number	Status
7550 MILLER RD	School: SWARTZ CREEK		DEMOLITION	09/25/2019	PB19-00058	COMPLETED
	P.R.E. 0%		REMODEL	09/10/2014	1400049	COMPLETED
Owner's Name/Address	MAP #:		TRADE PERMIT- NO CHANGE	08/14/2012	12-195	COMPLETED
TEMPLAR MIDWEST, LLC 8272 MISTY MEADOWS GRAND BLANC MI 48439	2020 Est TCV 176,669 TCV/TFA: 99.76					

Tax Description	X Improved	Vacant	Land Value Estimates for Land Table COM.COMMERCIAL							
			Description	Frontage	Depth	Front	Depth	Rate %Adj. Reason	Value	
LOT 73 SUPERVISORS PLAT OF SWARTZ CREEK			\$1000/FF MAIN	64.00	184.00	1.0000	0.9592	1000	100	61,387
Comments/Influences			64 Actual Front Feet, 0.27 Total Acres Total Est. Land Value = 61,387							

Comments/Influences	X	Land Improvement Cost Estimates			
		Description	Rate	Size % Good	Cash Value
	X	Dirt Road			
	X	Gravel Road			
	X	Paved Road			
	X	Storm Sewer			
	X	Sidewalk			
	X	Water	D/W/P: 3.5 Concrete	5.42	159 97 836
	X	Sewer	D/W/P: Asphalt Paving	2.55	4787 97 11,841
	X	Electric	Commercial Local Cost Land Improvements		
	X	Gas	Description	Rate	Size % Good Arch Mult
	X	Curb	6' PRIVACY FENCE	10.00	32 57 100 182
		Street Lights	Total Estimated Land Improvements True Cash Value = 12,859		
		Standard Utilities			
		Underground Utils.			



Topography of Site			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value
X	Level		2020	30,700	57,600	88,300			88,300S
	Rolling		2019	27,600	55,900	83,500			72,332C
	Low		2018	26,900	72,600	99,500			70,637C
	High		2017	26,900	92,800	119,700			69,185C
	Landscaped								
	Swamp								
	Wooded								
	Pond								
	Waterfront								
	Ravine								
	Wetland								
	Flood Plain								

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*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: Calculator Occupancy: Medical - Office Buildings		Calculator Cost Computations	
Class: D		Class: D	Quality: Average
Floor Area: 1,771		Stories: 1	Story Height: 8
Gross Bldg Area: 1,771		Perimeter: 0	
Stories Above Grd: 1		Base Rate for Upper Floors = 135.06	
Average Sty Hght : 8		Storage Basement Basement, Base Rate for Basement = 39.16	
Bsmnt Wall Hght : 8		(Basement Fireproofing Rate = 0.00)	
Depr. Table : 3%		(10) Heating system: Package Heating & Cooling Cost/SqFt: 21.38 100%	
Effective Age : 12		Bsmnt Heating system: No Heating or Cooling Cost/SqFt: 0.00	
Physical %Good: 69		Adjusted Square Foot Cost for Upper Floors = 156.44	
Func. %Good : 100		Adjusted Square Foot Cost for Basement = 39.16	
Economic %Good: 100		Total Floor Area: 1,771	
1928 Year Built		Base Cost New of Upper Floors = 277,055	
2014 Remodeled		Basement Area: 1,540	
Overall Bldg Height		Base Cost New of Basement = 60,306	
Comments:		Reproduction/Replacement Cost = 337,361	
		Eff.Age:12 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 69 /100/100/100/69.0	
		Total Depreciated Cost = 232,779	
		ECF (COMMERCIAL) 0.440 => TCV of Bldg: 1 = 102,423	
		Replacement Cost/Floor Area= 190.49 Est. TCV/Floor Area= 57.83	

(1) Excavation/Site Prep:	(7) Interior:	(11) Electric and Lighting:	(39) Miscellaneous:
(2) Foundation:	(8) Plumbing:	Outlets:	(40) Exterior Wall:
X Poured Conc	Many Above Ave.	Few Average Many Unfinished Typical	
Brick/Stone	Average Typical	Few Average Many Unfinished Typical	Bsmnt Insul.
Block	Few None	Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	
(3) Frame:	Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets	Incandescent Fluorescent Mercury Sodium Vapor Transformer	
(4) Floor Structure:	Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners	(13) Roof Structure: Slope=0	
(5) Floor Cover:	(9) Sprinklers:	(14) Roof Cover:	
(6) Ceiling:	(10) Heating and Cooling:		
	Gas Oil Coal Stoker Hand Fired Boiler		

*** Information herein deemed reliable but not guaranteed***

September 21, 2020

Planning Commission
 City of Swartz Creek
 8083 Civic Drive
 Swartz Creek, MI 48473

This is the first review. See the second review for current recommendations.

Attention: Adam Zettel, City Manager

Subject	7550 Miller Road Site Plan Review Request
Description of Application	Site Plan Review for office building additions and site improvements at the corner of Miller Road and Frederick Street.
Applicant	Templar Midwest, LLC 8272 Misty Meadows Grand Blanc, MI 48439
Zoning	CBD, Central Business District
Site Plan Date	December 1, 2019

Dear Commissioners:

We have reviewed the above site plan application for a 1,296 square foot addition to the above office building, along with parking lot and site improvements. The property is located at the northwest corner of Miller Road and Frederick Street and a former garage structure was previously removed from the rear of the site. The building is a one-story structure with a brick and stone exterior, along with a seamless metal mansard roof. Proposed is an expansion on the north and east sides of the building; the closing of a parking lot entryway on Frederick Street; improvement of the 12-space parking lot; and erection of a steel carport along the north property line.

The opinions in this report are based on a review of the proposed revised site plan, conditions of Planning Commission approval meetings, and conformance to City ordinance standards. Key review item points in this letter are underlined for the benefit of the applicant. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application.

REVIEW COMMENTS

Section 21.06, Application for full site plan review, of the ordinance, requires the submission of a site plan meeting the requirements of the City of Swartz Creek Zoning Ordinance. Based upon our review of the submitted site plan, we offer the following comments for your consideration:

1. **Informational Data:** The following information must be provided in a revised submission:
 - a. The site plan should be signed and sealed by the architect;
 - b. Any revision dates must be included;
 - c. The site plan should indicate the use and treatment for the 10'1" wide area at the northwest corner of the building;
 - d. Details and the location of any new lighting fixtures; and
 - e. A detail is needed for the steel carport structure.

2. **Dimensional Requirements:** Maximum density, minimum floor area and maximum height shall comply with the dimensional standards of the CBD, Central Business District. Since this is a building expansion on an existing site, only the applicable height, bulk, density, and area requirements are covered here:

CBD Standard	Required	Provided	Comment
Minimum Side Yard Setback	Interior - 0 feet Exterior – 10 feet	Interior - 10' 1" Exterior - 10' 3"	<i>Meets standard</i>
Minimum Rear Yard Setback	20 feet for building and 5-foot greenbelt	0 feet	<i>The building setback is met but the parking lot greenbelt requirement has not been met.</i>
Maximum Lot Coverage	0%	57%	<i>Meets standard</i>

3. **Parking Spaces Required.** The site plan indicates that 9 parking spaces are required but our calculations based upon the square footage numbers provided indicates that 12 spaces are required (3,063 s.f./1000 x 4 = 12 spaces). 12 parking spaces are currently proposed but that may change based upon other ordinance requirements below.

4. **Parking Lot Setback.** *Section 8.02(G), Site Development Requirements*, of the ordinance states that "A minimum of five-foot wide greenbelt shall be provided adjacent to a residential district and no structures or off-street parking spaces shall be located within the greenbelt." The proposed parking lot abuts the R-3, Downtown Residential District to the north and the property is occupied by a single-family residential structure. This ordinance requirement has not been met since the parking lot abuts the north property line, as does the proposed carport.

5. **Parking Lot Screening.** The ordinance requires that the parking lot be screened from Frederick Street. Since this is an existing parking lot located on a narrow parcel, where a setback is not possible, we recommend that a low hedgerow be provided in the right-of-way. This will allow partial screening of vehicles in the lot without negatively impacting the amount of parking. City approval will be needed, since this is a City street, and details of the plantings are needed.

6. **Bumper Blocks.** We recommend that the north side of the parking lot be curbed, since bumper blocks rarely stay in place, and there is no reason why curbing cannot be installed.

7. **Carport.** *Section 18.02 (P), Carports and Garages*, of the ordinance, states that “Carports shall be screened on the sides or front end facing any public or internal street or drive.” The proposed carport on the north end of the parking lot is not screened from Frederick Street.
8. **Sidewalk.** *Section 8.02(F), Site Development Requirements*, of the ordinance states that “A minimum five-foot wide concrete sidewalk shall be provided within the road right-of-way for the entire frontage along a street.” Since this is an existing site and there is a significant grade change from north to south, it would be impractical to place a sidewalk along the Frederick Street frontage. There is an existing sidewalk along the Miller Road frontage for the property.
9. **Building Addition.** The proposed addition utilizes a combination of cultured stone veneer, fiber cement siding, and a seamless metal roof that blends in with the existing roof. These are appropriate materials for a commercial building and should blend in with the existing structure.
10. **Access and Circulation:** One (1) access point will be eliminated by this project, better meeting ordinance requirements.
11. **Other Department and Agency Review:** Site plan approval must be conditioned upon review and approval from other applicable consultants, departments, and agencies.

RECOMMENDATION

Based upon the above comments, we recommend that a revised site plan be submitted for our re-review prior to placement on the Planning Commission agenda.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB PLANNING



Carmine P. Avantini, AICP
President



September 28, 2020

Second Review: Current

Planning Commission
 City of Swartz Creek
 8083 Civic Drive
 Swartz Creek, MI 48473

Attention: Adam Zettel, City Manager

Subject	7550 Miller Road <i>Revised</i> Site Plan Review Request
Description of Application	Site Plan Review for office building additions and site improvements at the corner of Miller Road and Frederick Street.
Applicant	Templar Midwest, LLC 8272 Misty Meadows Grand Blanc, MI 48439
Zoning	CBD, Central Business District
Site Plan Date	9-25-20

Dear Commissioners:

We have reviewed the above *revised* site plan application for a 1,296 square foot addition to the above office building, along with parking lot and site improvements. The property is located at the northwest corner of Miller Road and Frederick Street and a former garage structure was previously removed from the rear of the site. The building is a one-story structure with a brick and stone exterior, along with a seamless metal mansard roof. Proposed is an expansion on the north and east sides of the building; the closing of a parking lot entryway on Frederick Street; and improvement of the proposed 12-space parking lot.

The opinions in this report are based on a review of the proposed revised site plan, conditions of Planning Commission approval meetings, and conformance to City ordinance standards. Key review item points in this letter are underlined for the benefit of the applicant. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application.

REVIEW COMMENTS

Section 21.06, Application for full site plan review, of the ordinance, requires the submission of a site plan meeting the requirements of the City of Swartz Creek Zoning Ordinance. Based upon our review of the submitted site plan, we offer the following comments for your consideration:

1. **Informational Data:** The following information must be provided in a revised submission:
 - a. The site plan should be signed and sealed by the architect;
 - b. Any revision dates must be included; and
 - c. The site plan should indicate the use and treatment for the 10'1" wide area at the northwest corner of the building.

2. **Dimensional Requirements:** Maximum density, minimum floor area and maximum height shall comply with the dimensional standards of the CBD, Central Business District. Since this is a building expansion on an existing site, only the applicable height, bulk, density, and area requirements are covered here:

CBD Standard	Required	Provided	Comment
Minimum Side Yard Setback	Interior - 0 feet Exterior – 10 feet	Interior - 10' 1" Exterior - 10' 3"	<i>Meets standard</i>
Minimum Rear Yard Setback	20 feet for building and 5-foot greenbelt	0 feet	<i>Meets standard</i>
Maximum Lot Coverage	0%	57%	<i>Meets standard</i>

3. **Parking Spaces Required.** The site plan indicates that 9 parking spaces are required but our calculations based upon the square footage numbers provided indicates that 12 spaces are required (3,063 s.f./1000 x 4 = 12 spaces) and 12 parking spaces are provided.

4. **Parking Lot Setback.** *Section 8.02(G), Site Development Requirements*, of the ordinance states that "A minimum of five-foot wide greenbelt shall be provided adjacent to a residential district and no structures or off-street parking spaces shall be located within the greenbelt." The proposed parking lot abuts the R-3, Downtown Residential District to the north and the property is occupied by a single-family residential structure. This ordinance requirement has been met with a 5-foot setback and decorative vinyl fence.

5. **Parking Lot Screening.** The ordinance requires that the parking lot be screened from Frederick Street. Since this is an existing parking lot located on a narrow parcel, where a setback is not possible, we recommend that a low hedgerow be provided in the right-of-way. This will allow partial screening of vehicles in the lot without negatively impacting the amount of parking. City approval will be needed, since this is a City street, and details of the plantings are needed.

6. **Bumper Blocks.** We recommend that the north edge of the parking lot be curbed, since bumper blocks rarely stay in place, and there is no reason why curbing cannot be installed (especially since the east side of the parking lot is to be curbed).

7. **Parking Lot Lighting.** The applicant has indicated that no new parking lot lighting will be installed.

8. **Sidewalk.** *Section 8.02(F), Site Development Requirements*, of the ordinance states that "A minimum five-foot wide concrete sidewalk shall be provided within the road right-of-way for the entire frontage along a street." Since this is an existing site and there is a significant grade change from north to south, it would be impractical to place a sidewalk along the Frederick Street frontage. There is an existing sidewalk along the Miller Road frontage for the property.

9. **Building Addition.** The proposed addition utilizes a combination of cultured stone veneer, fiber cement siding, and a seamless metal roof that blends in with the existing roof. These are appropriate materials for a commercial building and should blend in with the existing structure.
10. **Access and Circulation:** One (1) access point will be eliminated by this project, better meeting ordinance requirements.
11. **Other Department and Agency Review:** Site plan approval must be conditioned upon review and approval from other applicable consultants, departments, and agencies.

RECOMMENDATION

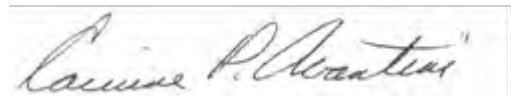
Based upon the above comments, **we recommend approval of the site plan for 7550 Miller Road,** conditioned upon the following:

1. Submission of a revised site plan that addresses the informational data under item #1 above;
2. The planting of a low hedge row in the right-of-way to provide required partial screening of vehicles in the parking lot;
3. The north edge of the parking lot be curbed; and
4. Review and approval from other applicable consultants, departments, and agencies.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB PLANNING



Carmine P. Avantini, AICP
President

PROPOSED BUILDING ADDITION/RENOVATIONS FOR TEMPLAR MIDWEST, LLC

7550 MILLER ROAD, SWARTZ CREEK, MI 48473

BUILDING DATA/ CODE REVIEW

PROJECT SCOPE INCLUDES BUILDING ADDITION AND INTERIOR RENOVATIONS OF AN EXISTING VACANT MEDICAL OFFICE INTO A NEW MEDICAL CLINIC. WORK INCLUDES SELECTIVE DEMOLITION, NEW CONSTRUCTION, AND NEW FINISHES UTILISING THE 2015 MICHIGAN BUILDING CODE.

APPLICABLE CODES:
MICHIGAN BUILDING CODE - 2015
ACCESSIBILITY (ICC/ANSI A117-2009)
INTERNATIONAL FIRE CODE - 2015
MICHIGAN ELECTRICAL CODE - 2015
MICHIGAN PLUMBING CODE - 2015
STATE OF MICHIGAN ELECTRICAL CODE (MEC-2017) IV PART 8 AMENDMENTS

1. USE GROUP:
B. BUSINESS (MEDICAL OFFICE)
U. UTILITY & MISCELLANEOUS (PRIVATE GARAGE)
2. TYPE OF CONSTRUCTION:
A. TYPE VB (BB), COMBUSTIBLE, UNPROTECTED
3. ALLOWABLE HEIGHTS AND AREAS (TABLE 506.2):
GROUP B, "5B" = 4,000 SF ALLOWED
EXISTING BUILDING - 1,161 SQ. FT.
PROPOSED ADDITION - 1,246 SQ. FT.
BUILDING FIRST FLOOR TOTAL - 3,063 SQ. FT.
4. OCCUPANT LOAD (TABLE 1004.1.2):
BUSINESS AREAS= 100 GROSS SQ. FT./PER OCCUPANT
2,715 SQ. FT./100 SQ. FT. PER OCCUPANT = 28 OCCUPANTS.
5. SEPARATION FROM OTHER USES (MEC TABLE 508.3.3)
A. NO SEPARATION REQUIRED
6. AUTOMATIC SPRINKLER SYSTEM (SEC. 903.2.7)
A. THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC SPRINKLER SYSTEM, AND IT IS NOT REQUIRED FOR THIS USE.
7. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS PERMITTED IN GROUP B.
LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR A BUSINESS USE, THEREFORE NOT REQUIRED.
8. NUMBER OF EXITS AND CONTINUITY (MEC, SECTION 1006.2.1):
OCCUPANT LOAD IS LESS THAN 44 OCCUPANTS, AND TRAVEL DISTANCE IS LESS THAN 125 FEET. ONE EXIT REQUIRED, TWO EXITS PROVIDED.

9. DOOR SWINGS (SECTION 1001.2):
DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.
10. MEANS OF EGRESS DOORS (SECTION 1001.4):
THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF TOOLS, KEYS, COIN OPERATED DEVICES, OR OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE PER CHAPTER 11 OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE.

11. MEANS OF EGRESS ILLUMINATION (SECTION 1009):
ALL TIMES THE SPACE IS OCCUPIED, THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

12. EXIT SIGNS (SECTION 1013):
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

13. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
a) WALL AND CEILING FINISHES (TABLE 803.1), NON-SPRINKLED ROOMS OR SPACES OF USE GROUP B, SHALL HAVE A MINIMUM CLASS C RATING. FLAME SPREAD 16-200, SMOKE DEVELOPED 0-450.
b) INTERIOR FLOOR FINISHES (SECTION 804): WHERE A BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, CLASS II (2) MATERIALS ARE PERMITTED IN GROUP B.

SCHEDULE OF DRAWINGS

A	COVER/TITLE SHEET	158 FOR PERMIT	9-8-2020	9-8-2020	10-4-2020
I	ARCHITECTURAL TOPOGRAPHICAL SURVEY	■	■	■	■
C1	SITE/PLOT PLAN AND NOTES	■	■	■	■
C2	GRADING AND UTILITY PLAN	■	■	■	■
S1	FOUNDATION PLAN AND NOTES	■	■	■	■
S2	ROOF FRAMING PLAN AND NOTES	■	■	■	■
A1	DEMOLITION PLAN AND NOTES	■	■	■	■
A2	FLOOR PLAN AND NOTES	■	■	■	■
A3	REFLECTED CEILING PLAN	■	■	■	■
A4	ROOF PLAN	■	■	■	■
A5	EXTERIOR ELEVATIONS	■	■	■	■
A6	ROOM FINISH AND DOOR SCHEDULES	■	■	■	■
A7	WALL SECTIONS	■	■	■	■
A8	WALL SECTIONS	■	■	■	■

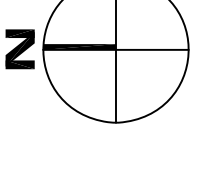
158 FOR PERMIT
9-8-2020
9-8-2020
10-4-2020
SITE PLAN REVIEW
SITE PLAN REVIEW



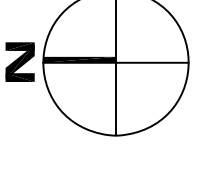
PROJECT LOCATION



PROJECT LOCATION



AERIAL VIEW
NO SCALE



VICINITY MAP
NO SCALE

REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:
JOHN K. COSTA, AIA, STATE OF MICHIGAN (D. NO. 1501028497
EXPIRATION DATE: OCTOBER 31, 2021

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL MUNICIPALITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REFERRED SUBMITTALS:
PLUMBING PERMITS AND SPECIFICATIONS
MECHANICAL DRAWINGS AND SPECIFICATIONS
ELECTRICAL DRAWINGS AND SPECIFICATIONS



10-6-2020
John K. Costa

PROJECT INFORMATION

OWNER / DEVELOPER: TEMPLAR MIDWEST, LLC
8272 MISTY MEADOWS
GRAND BLANC, MI 48434
810-558-0682

ZONING: CBD-CENTRAL BUSINESS DISTRICT
PROPOSED LAND USE: MEDICAL OFFICE BUILDING

PARCEL #1: 58-56-552-010
BUILDING & LOT COVERAGE: TOTAL GROSS LOT AREA: 11,600 SF (0.27 ACRES)
EXISTING BUILDINGS AREA: 1761 SF
NEW BUILDINGS AREA: 1296 SF
TOTAL BUILDINGS AREA: 3057 SF
AREA USED FOR STRUCTURE: 26 %

IMPERVIOUS/PAVED AREA: PAVING: 6,650 SF, 51 % OF SITE

THE LOCATION OF THE NEW ADDITION TO THE BUILDING IS OVER A CURRENTLY PAVED AREA. THE CHANGE OF IMPERVIOUS SURFACE IS 0%.

GENERAL REGULATIONS (SECTION 19.02):
MAXIMUM HEIGHT: 40 FEET OR 3 STORIES
MAXIMUM OVERHANG: 0%
MAXIMUM COVERAGE: 0%
MAXIMUM FRONT YARD SETBACK: 5 FEET
MINIMUM SIDE YARD SETBACK: 0 FEET
MINIMUM REAR YARD SETBACK: 20 FEET

EXISTING USE: VACANT MEDICAL OFFICE
PROPOSED USE: MEDICAL OFFICE

PARKING REQUIREMENTS: CENTRAL BUSINESS DISTRICT - 4 SPACES PER 1,000 SQ. FT. OF FLOOR AREA
FLOOR AREA: 22,917 SF (8,065) / (2,000) F. X 4 = 8 SPACES
TOTAL PROVIDED: 12 SPACES + 1 GARAGE SPACE

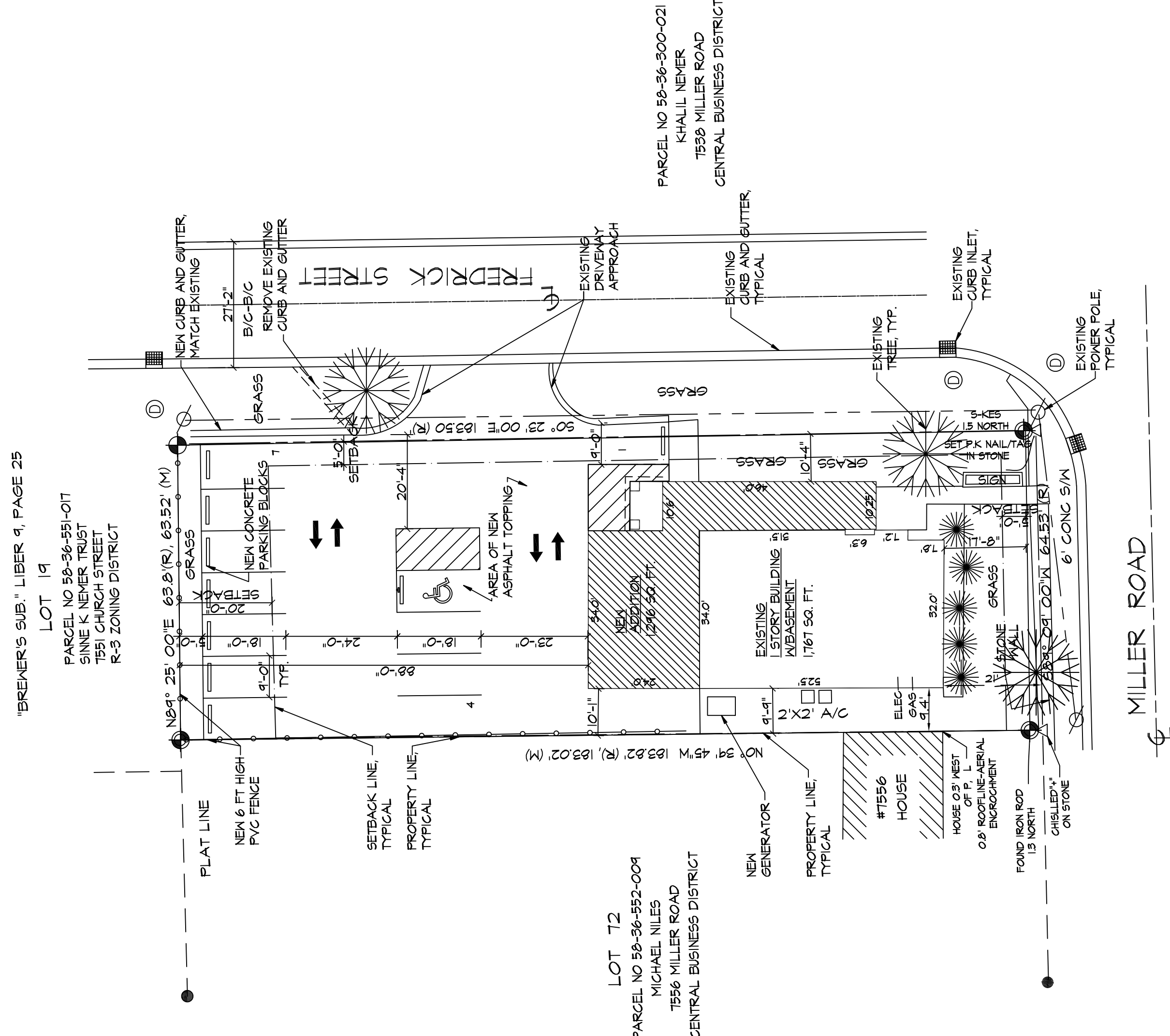
BARRIER-FREE: 1 SPACE REQUIRED/1 SPACE PROVIDED
LOADING/UNLOADING: NOT REQUIRED PER ZONING SEC. 19.06 A(1).

LEGAL DESCRIPTION

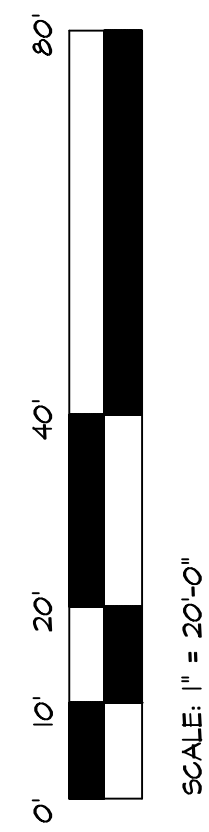
LAND SITUATED IN THE CITY OF SWARTZ CREEK, COUNTY OF GENESEE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
LOT 13, SUPERVISORS' PLAT OF SWARTZ CREEK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 11 OF PLATS, PAGE 42, GENESEE COUNTY RECORDS.

NOTES

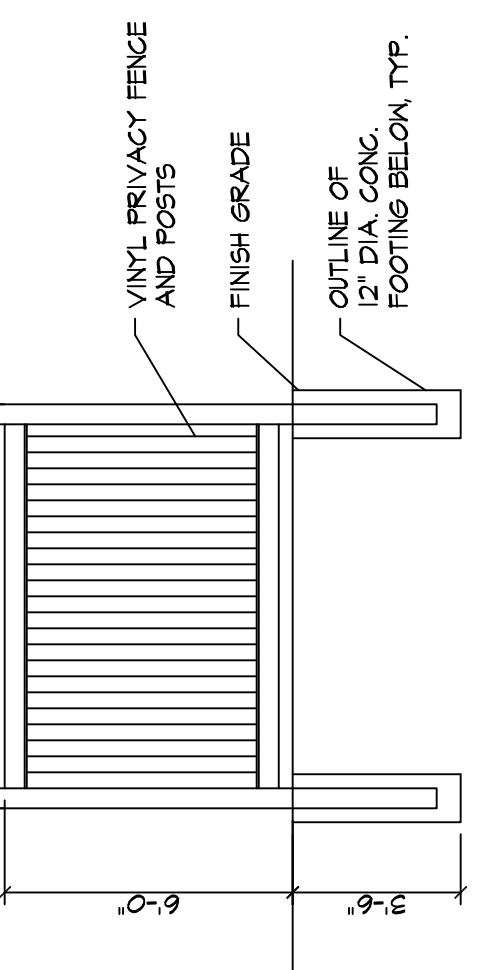
- SITE DATA OBTAINED FROM CITY OF SWARTZ CREEK ASSESSMENT DIVISION AND PARCEL/REAL PROPERTY LOOK UP ON CITY OF SWARTZ CREEK OFFICIAL WEBSITE, AND BOUNDARY SURVEY AS PREPARED BY J. J. BROWN ENGINEERING & SURVEYING INC. ON JAN 27, 2019. ALL METEOROLOGICAL TOPOGRAPHIC SURVEY DATA PREPARED BY J. J. BROWN ENGINEERING & SURVEYING, DATED 8-26-20.
- CALL "MISS DIG" PRIOR TO EXCAVATION FOR BUILDING OR UTILITIES.
1-800-462-1111
- ALL EXTERIOR LIGHT FIXTURES SHALL BE SHIELDED AND REFLECTED TO PREVENT GLARE ON ADJACENT PROPERTIES.
- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- VAN ACCESSIBLE, BARRIER-FREE PARKING SPACE TO BE 9' WIDE MIN. x 18' LONG, WITH AN 8' WIDE ACCESS AISLE. (SEE NOTE #6)
- PROVIDE BARRIER-FREE SIGNAGE AND GRAPHICS AS PER "MICHIGAN BARRIER-FREE DESIGN" REQUIREMENTS.
- PERPENDICULAR PARKING SPACES TO BE 9' WIDE (MIN.) x 18' LONG (MIN.)



SITE DEVELOPMENT/ SKETCH PLAN
1" = 20'-0"



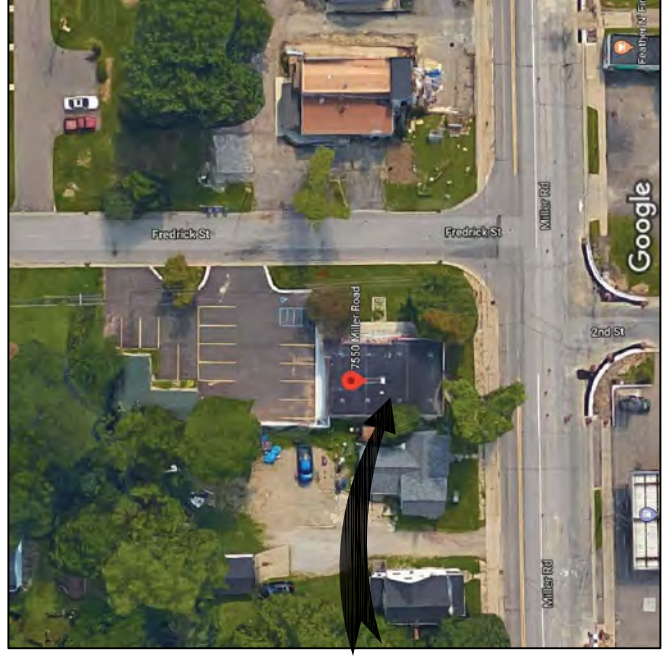
9/25/2020
John K. Costa
ARCHITECT
STATE OF MICHIGAN
JOHN K. COSTA
ARCHITECT
NO. 1301038427



FENCE ELEVATION
1/4" = 1'-0"



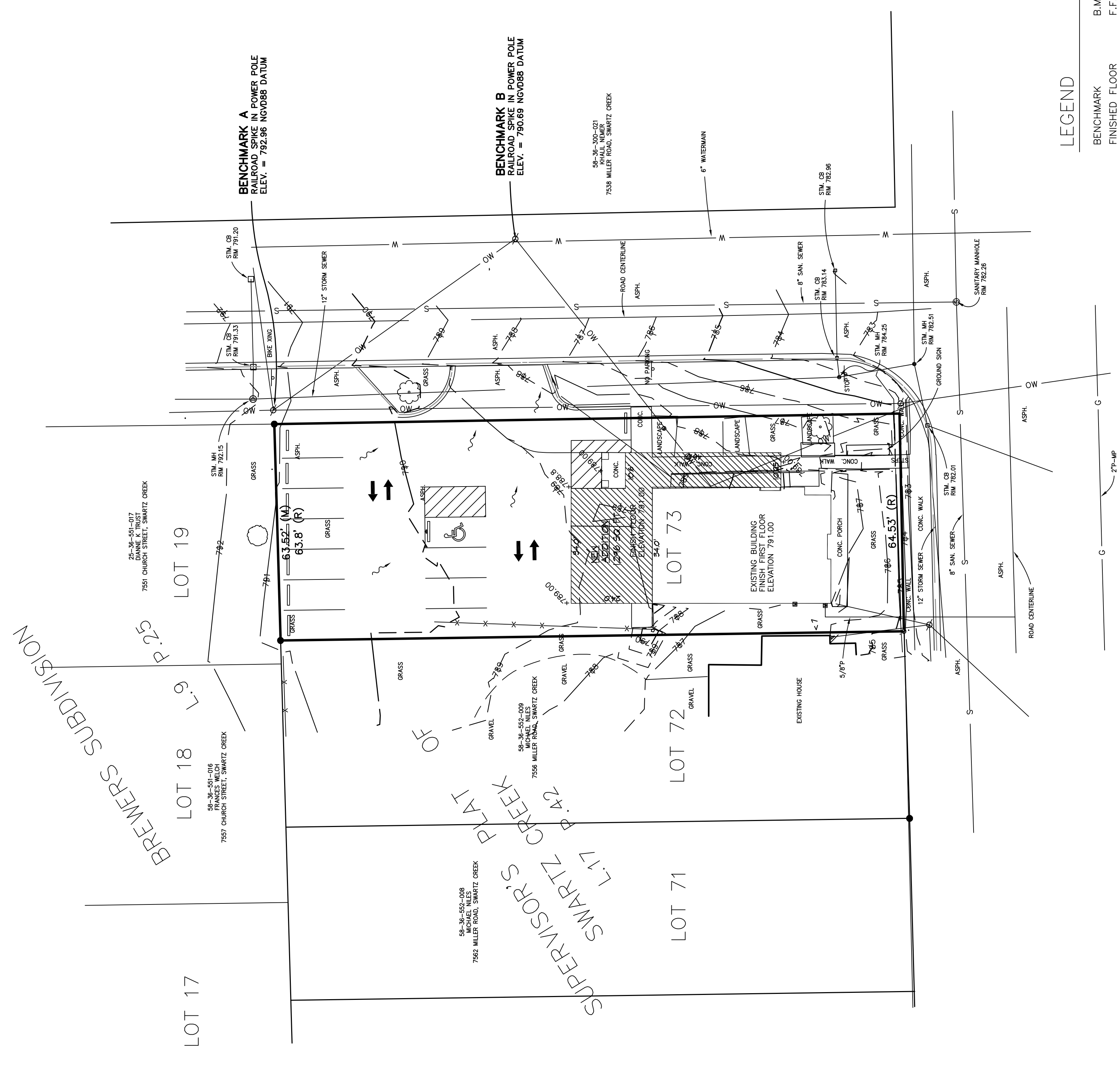
VICINITY MAP
NO SCALE



AERIAL VIEW
NO SCALE

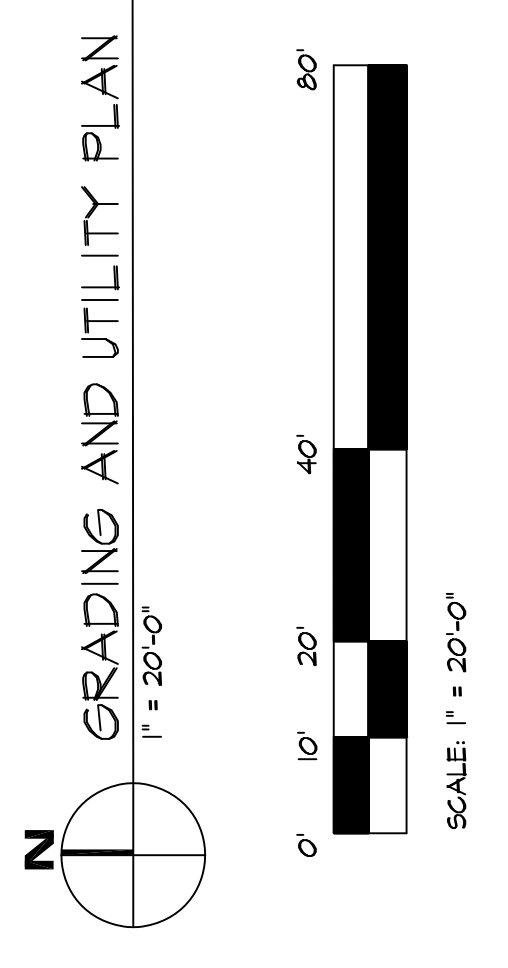
LEGEND

B.M.	BENCHMARK	⊙
F.F.	FINISHED FLOOR	▬
F.G.	FINISHED GRADE	▬
EX.	EXISTING	▬
F.M.	FIELD MEASURE	⊗
I.E.	INVERT ELEVATION	⊕
GAS MAIN	—g—	—g—
WATER MAIN	—w—	—w—
STORM SEWER	—s—	—s—
SANITARY SEWER	—s—	—s—
OVERHEAD WIRES	—oh—	—oh—
1" WATER SERVICE	—ws—	—ws—
6" SANITARY LEAD	—sl—	—sl—
PROP. SUMP LEAD	—sump—	—sump—
FENCE	—fence—	—fence—
RECORDED DISTANCE	R.	—R—
MEASURED DISTANCE	M.	—M—
SET IRON	S.I.	—S.I—
FOUND CONC. MON.	F.C.M.	—F.C.M—
POINT OF BEGINNING	P.O.B.	—P.O.B—
GUTTER	G	—G—
CLEAN OUT	C.O.	—C.O—
STORM MANHOLE	⊙	⊙
SANITARY MANHOLE	⊙	⊙
GATE VALVE & WELL	⊙	⊙
DET. EDISON MANHOLE	⊙	⊙
WATER/GAS SHUT OFF	⊙	⊙
FIRE HYDRANT	⊙	⊙
UTILITY POLE	⊙	⊙
POLE OR POST	⊙	⊙
MAILBOX	⊙	⊙
SIGN	⊙	⊙
LIGHT	⊙	⊙
DECIDUOUS TREE	⊙	⊙
EVERGREEN TREE	⊙	⊙
SECTION CORNER	⊙	⊙
UTILITY PEDESTAL	⊙	⊙
CULVERT	⊙	⊙
SHRUB	⊙	⊙
DRAINAGE FLOW	⊙	⊙



LEGEND

B.M.	BENCHMARK	⊕
F.F.	FINISHED FLOOR	—
F.G.	FINISHED GRADE	—
EX.	EXISTING	—
F.M.	FIELD MEASURE	—
I.E.	INVERT ELEVATION	—
GAS MAIN	GAS MAIN	—
WATERMAIN	WATERMAIN	—
STORM SEWER	STORM SEWER	—
SANITARY SEWER	SANITARY SEWER	—
OVERHEAD WIRES	OVERHEAD WIRES	—
1" WATER SERVICE	1" WATER SERVICE	—
6" SANITARY LEAD	6" SANITARY LEAD	—
PROP. SUMP LEAD	PROP. SUMP LEAD	—
FENCE	FENCE	—
RECORDED DISTANCE	RECORDED DISTANCE	—
MEASURED DISTANCE	MEASURED DISTANCE	—
SET IRON	SET IRON	—
FOUND IRON	FOUND IRON	—
FOUND CONC. MON.	FOUND CONC. MON.	—
POINT OF BEGINNING	POINT OF BEGINNING	—
GUTTER	GUTTER	—
CLEAN OUT	CLEAN OUT	—
STORM MANHOLE	STORM MANHOLE	⊕
STORM CATCH BASIN	STORM CATCH BASIN	⊕
SANITARY MANHOLE	SANITARY MANHOLE	⊕
GATE VALVE & WELL	GATE VALVE & WELL	⊕
DET. EDISON MANHOLE	DET. EDISON MANHOLE	⊕
WATER/GAS SHUT OFF	WATER/GAS SHUT OFF	⊕
FIRE HYDRANT	FIRE HYDRANT	⊕
UTILITY POLE	UTILITY POLE	⊕
POLE OR POST	POLE OR POST	⊕
MAILBOX	MAILBOX	⊕
SIGN	SIGN	⊕
LIGHT	LIGHT	⊕
DECIDUOUS TREE	DECIDUOUS TREE	⊕
EVERGREEN TREE	EVERGREEN TREE	⊕
SECTION CORNER	SECTION CORNER	⊕
UTILITY PEDESTAL	UTILITY PEDESTAL	⊕
CULVERT	CULVERT	⊕
SHRUB	SHRUB	⊕
DRAINAGE FLOW	DRAINAGE FLOW	—



REVISIONS

JOB NO: 015-083
 DATE: AUG 24, 2014
 DRAWN BY: JKC, OWH
 SCALE: 1/4"=1'-0"
 SHEET NO:

S2

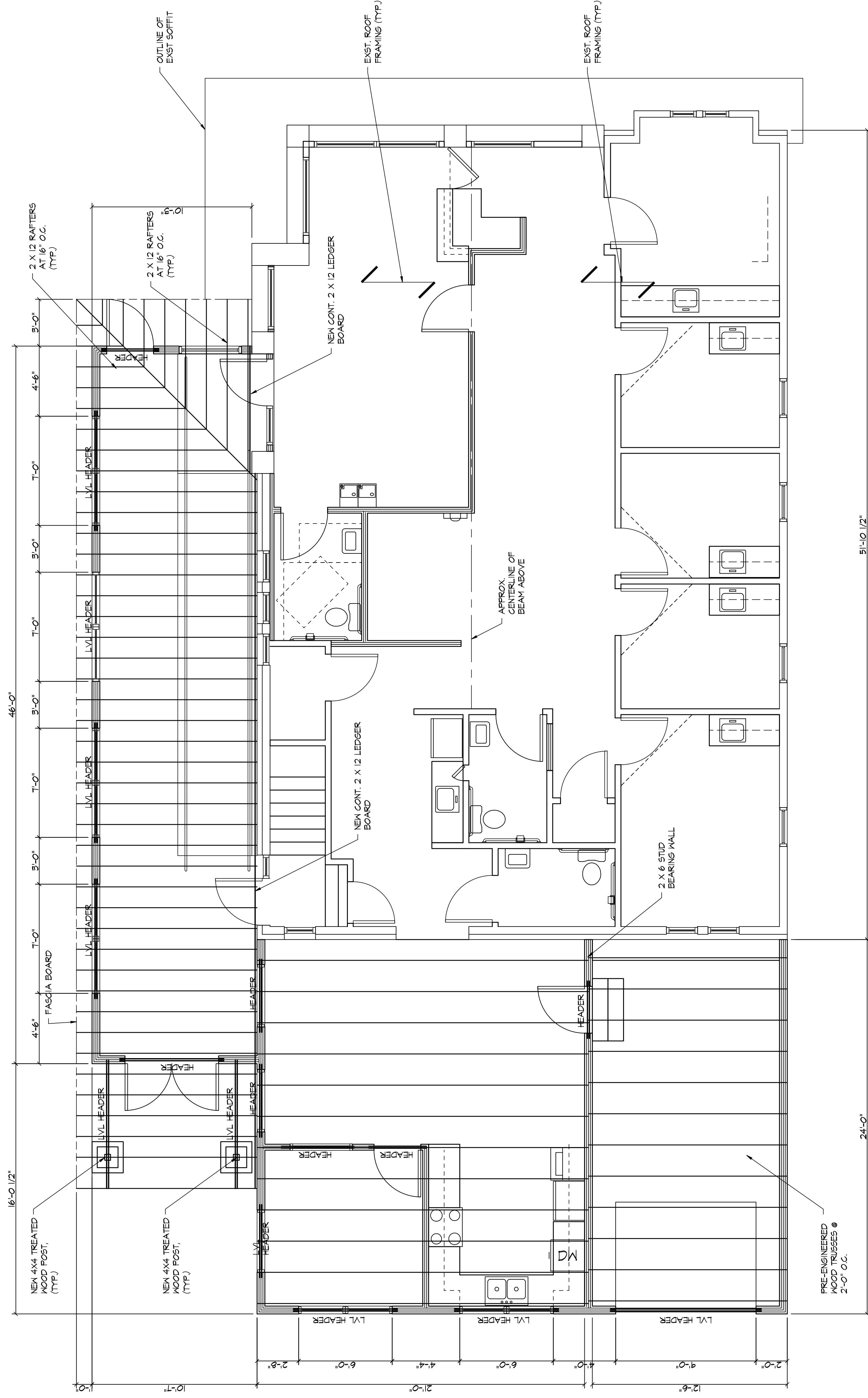
DESIGN LOADS

- Soil Pressure: 3,000 PSF
- Ground Snow Load, (Pg): 30 PSF
- Thermal Factor (Ct): 1.0
- Snow Exposure Factor (Ce): 0.9
- Snow Load Importance Factor (Is): 1.1
- Flat Roof Snow Load, (Rf): 21.0 PSF
 $Pf = .7 \times Ce \times Ct \times Is \times Pg$
- Wind Speed: 90 MPH
- Wind Load Importance Factor: 1.0
- Wind Exposure Category: "B"
- Wind Design Pressure: 10.93 PSF
- Seismic Zone: A
 Wind forces exceed seismic forces for this building.
- Design Roof Loads:
 Snow Load, (Pt): 21.0 PSF
 Rain-on-Snow Surcharge: 5.0 PSF
 Live Load, (L.L.): 26.0 PSF
 Dead Loads:
 Roof Membrane: 1.0 PSF
 5" Rigid Insulation: 4.5 PSF
 5/4" Plywood Sheathing: 2.5 PSF
 Open Web Wood Truss: 5.0 PSF
 Mech./Elec./Plumb: 5.0 PSF
 Suspended Ceiling System: 3.0 PSF
 Dead Load, (D.L.): 19.0 PSF
 Total Load, (L.L.)+(D.L.): 45.0 PSF

ROOF FRAMING NOTES

- WOOD TRUSS ROOF FRAMING SHOWN IS DIAGNOSTIC AND IS TO BE USED AS A GUIDE ONLY.
- TRUSS SUPPLIER IS TO PROVIDE ARCHITECT WITH SHOP DRAWINGS FOR REVIEW, INDICATING LAYOUT AND TYPES OF MEMBERS USED PRIOR TO FABRICATION.
- SHOP DRAWINGS ARE TO BE DESIGNED, SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL ENGINEER.
- PROVIDE MIN. 22" x 30" ACCESS OPENING TO ATTIC

THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILISED PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.



ROOF FRAMING PLAN
 1/4"=1'-0"

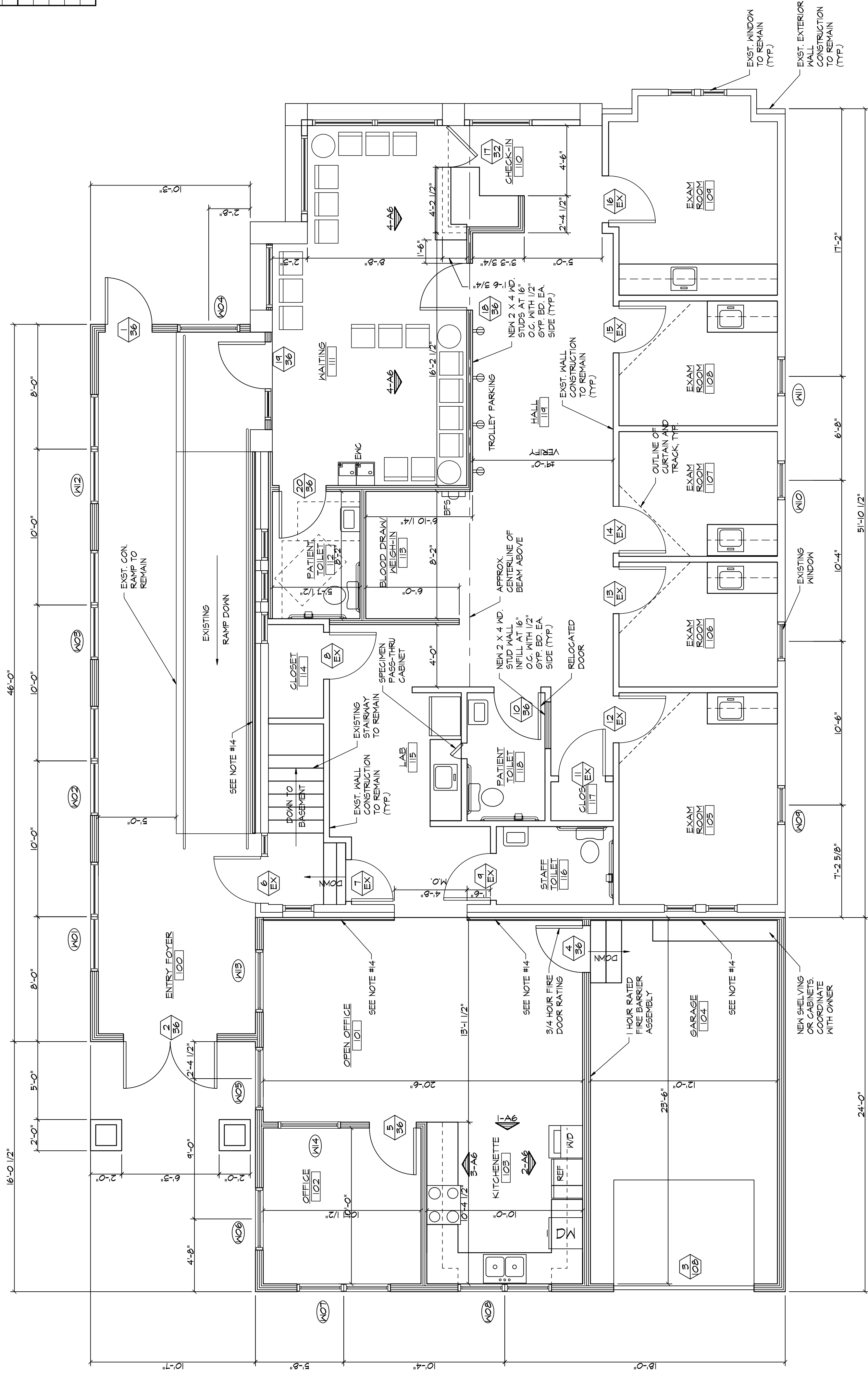
WINDOW SCHEDULE

MARK	SIZE (W"xH")	DESCRIPTION	LOCATION
M01	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M02	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M03	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M04	48" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M05	48" X 56"	FIXED W/ TRANSOM	OPEN OFFICE
M06	48" X 56"	FIXED W/ TRANSOM	OFFICE
M07	(2) 36" X 10"	FIXED W/ TRANSOM	OFFICE
M08	(2) 36" X 52"	FIXED W/ TRANSOM	KITCHENETTE
M09	24" X 76"	FIXED	EXAM ROOM
M10	24" X 76"	FIXED	EXAM ROOM
M11	24" X 76"	FIXED	EXAM ROOM
M12	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M13	48" X 56"	FIXED W/ TRANSOM	OPEN OFFICE
M14	48" X 48"	FIXED	OFFICE

GENERAL NOTES:

- THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
- ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
- ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYPSUM BOARDS OR TYPICAL (TYPICAL, UNLESS NOTED OTHERWISE).
- ALL NEW INTERIOR PARTITIONS ARE 2 X 4 WOOD STUDS @ 16" O.C. W/ 5/8" GYP BD. EACH SIDE UP TO 8' ABOVE FINISH CEILING MINIMUM. PROVIDE BRACING AT 4'-0" O.C. MAXIMUM AS REQUIRED (TYP. UNLESS NOTED OTHERWISE). PROVIDE SOUND ATTENUATING BATT INSULATION IN ALL NEW STUD MALL CAVITIES.
- EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH OWNER AND EQUIPMENT SUPPLIER.
- ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 601 THROUGH 606.
- CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- PRIOR TO INSTALLATION OF ANY PROPOSED APPLICABLE INTERIOR WALL AND CEILING FINISHES, PROVIDE TO THE CITY'S FIELD INSPECTOR DOCUMENTATION (GIT SHEETS) SHOWING THEIR CLASS, FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.
- CONTRACTOR TO UTILISE EXISTING DOOR FRAME AND HARDWARE THAT HAS BEEN REMOVED FOR REPLACEMENT IN NEW LEAVES IS TO BE TO THE SAME TYPE, MAKE, AND IN ACCEPTABLE CONDITION TO THE OWNER.
- ALL NEW AND EXISTING DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1008.1.4, DOOR OPERATIONS.
- CONTRACTOR TO COORDINATE ALL HARDWARE AND KEYING WITH OWNER PRIOR TO CONSTRUCTION. ALL HARDWARE TO BE INSTALLED AFTER OFFICIALS REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- REWORK ALL EXISTING HVAC AND LIGHTING AS REQD. FOR NEW ROOM AND PARTITION LAYOUTS. REUSE EXISTING CIRCUITING FOR RELOCATED LIGHT FIXTURES. COORDINATE WALL RECEPTACLE AND SWITCH LOCATIONS WITH OWNER.
- PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS.
- NEW 5/8" GYPSUM BOARD ON 1 1/2" Furring AT EXISTING WALL CONSTRUCTION.

CONTRACTOR TO IDENTIFY AND PROVIDE SHORING FOR ALL INTERIOR LOAD BEARING WALL AND COLUMN LOCATIONS PRIOR TO ANY DEMOLITION OF BEARING WALLS OR COLUMNS. PROVIDE NEW BEAMS, COLUMNS, AND WALLS AS REQUIRED.

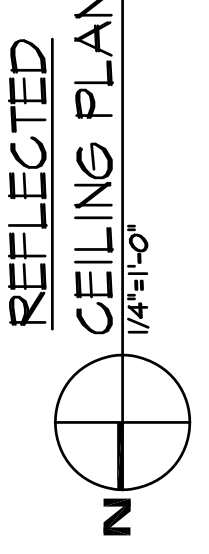
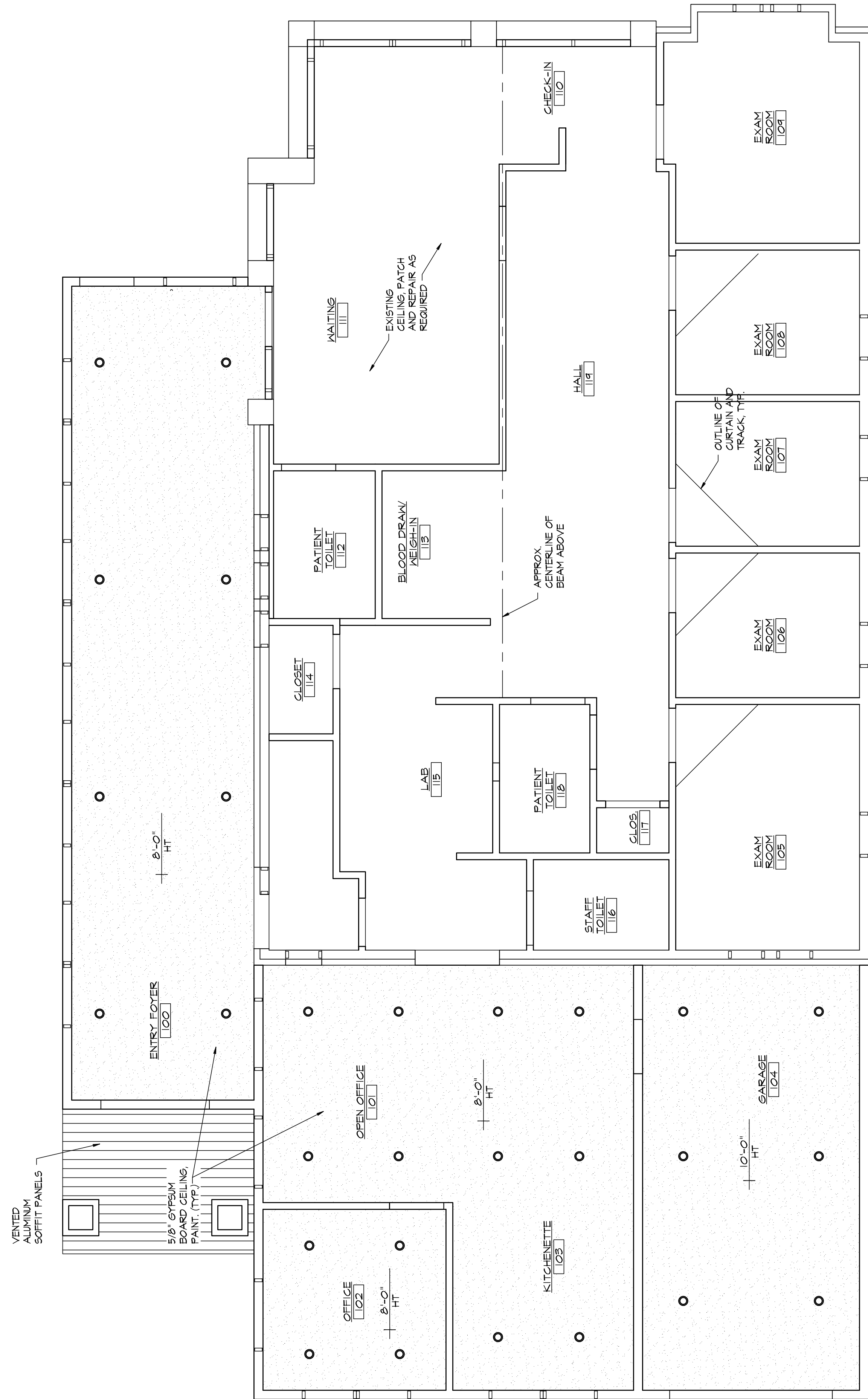


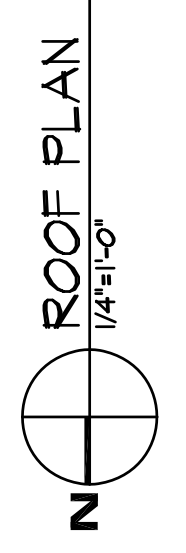
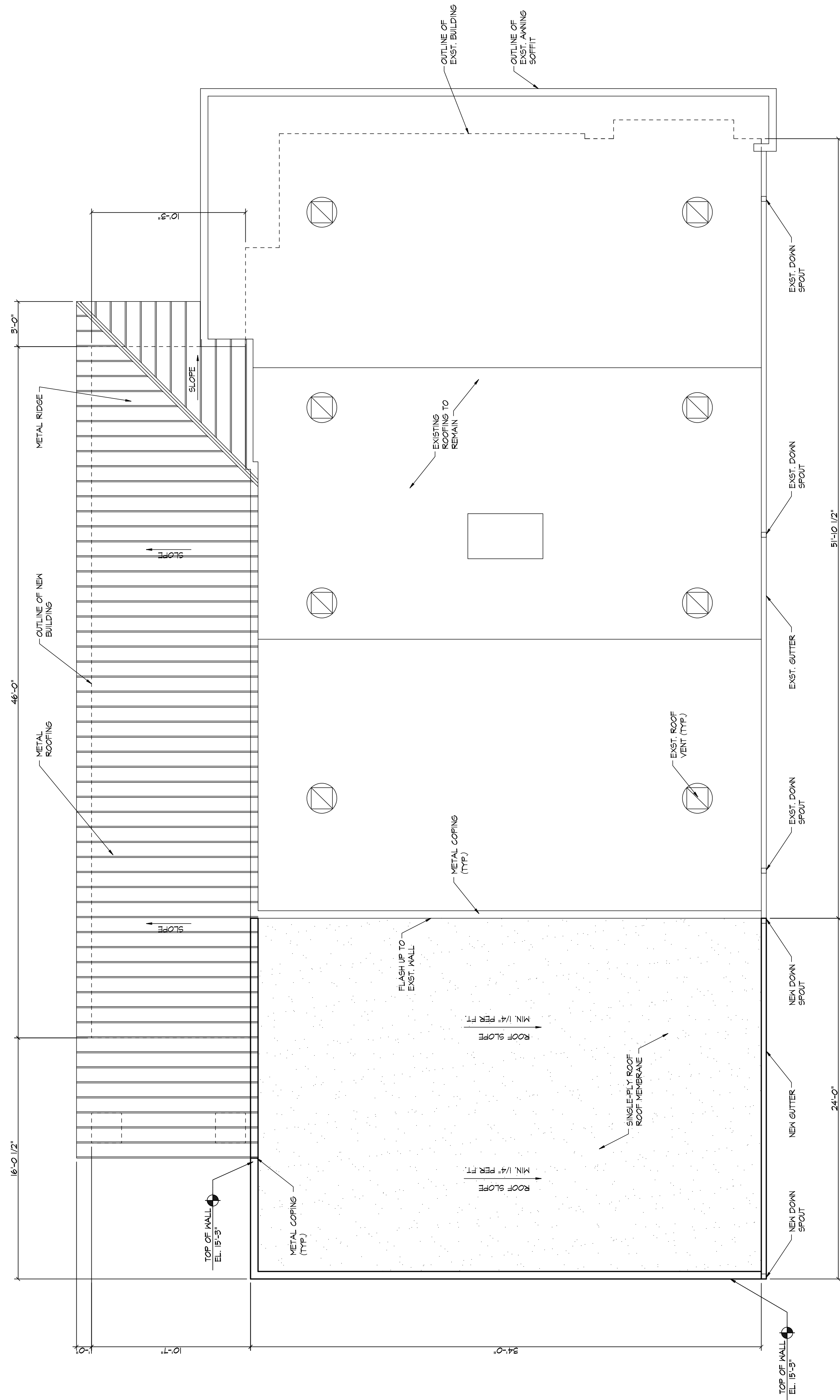
FLOOR PLAN
 1/4"=1'-0"

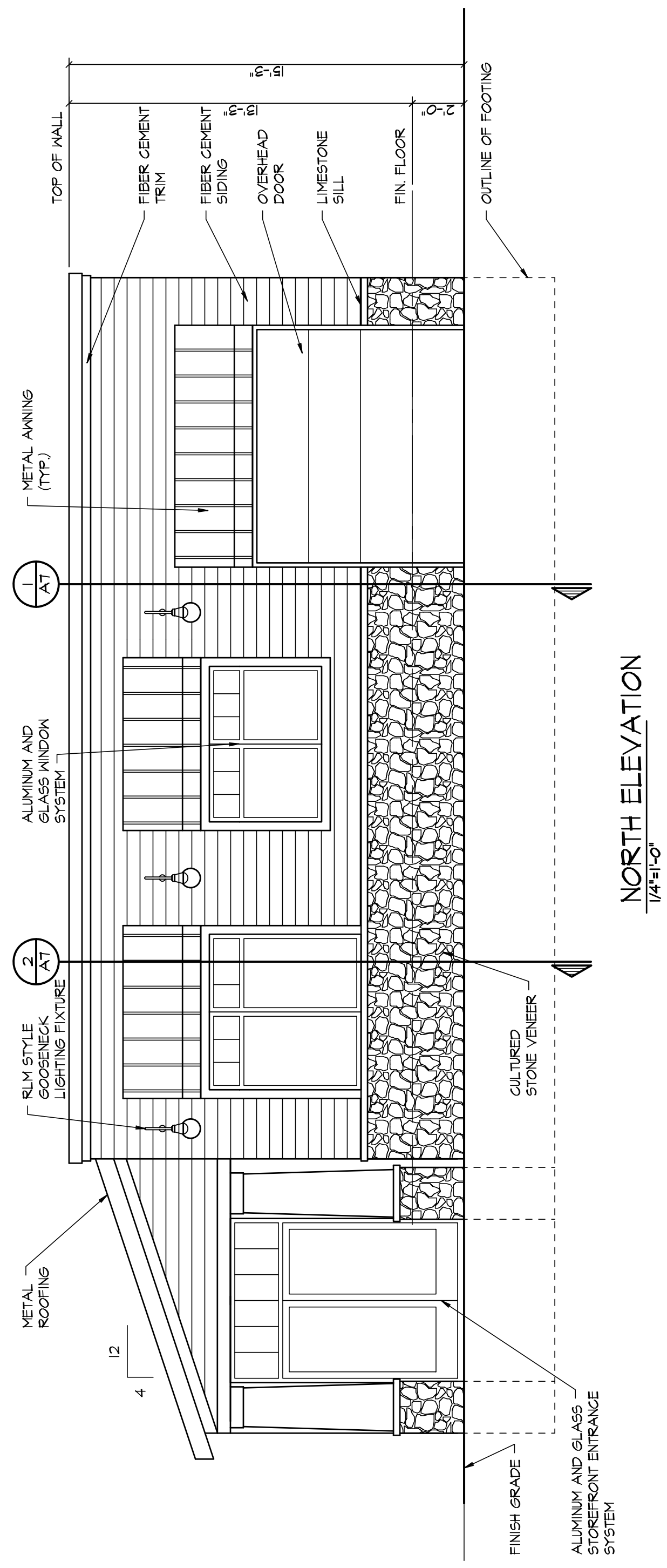
REVISIONS	

TYPE	SYMBOL	DESCRIPTION
"A"	[Symbol]	2 x 4 RECESSED FLUORESCENT FIXTURE
"A-1"	[Symbol]	2 x 2 RECESSED FLUORESCENT FIXTURE
"B"	[Symbol]	150 W RECESSED DOWNLIGHT
"EXEM"	[Symbol]	COMBINATION EMERGENCY LIGHT
	[Symbol]	RETURN AIR GRILLE
	[Symbol]	SUPPLY AIR SQUARE DIFFUSER
	[Symbol]	GYP. BD.
	[Symbol]	EXHAUST FAN

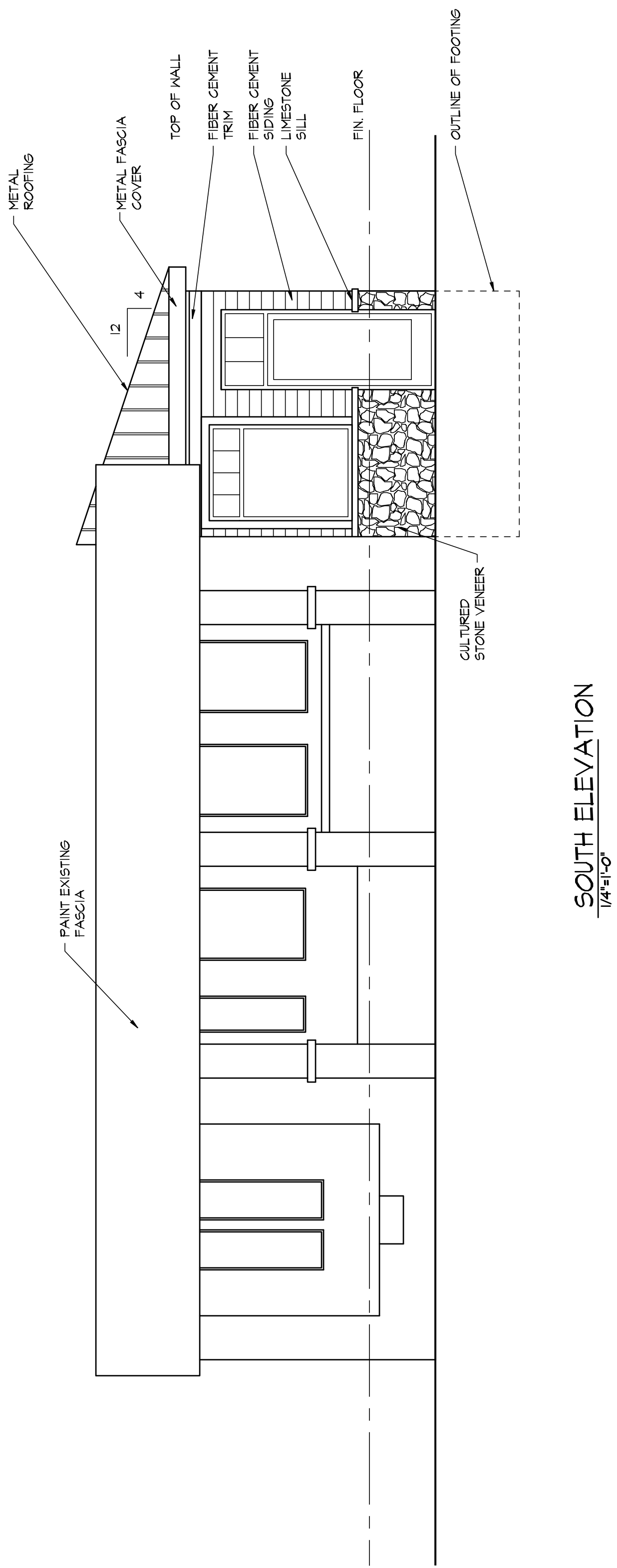
CONTRACTOR TO IDENTIFY AND PROVIDE SUPPORT FOR ALL EXISTING AND BEING MAINTAINED STRUCTURAL MEMBERS PRIOR TO ANY REMOVAL OF BEARING WALLS OR COLUMNS. PROVIDE NEW BEAMS, COLUMNS, AND WALLS AS REQUIRED.



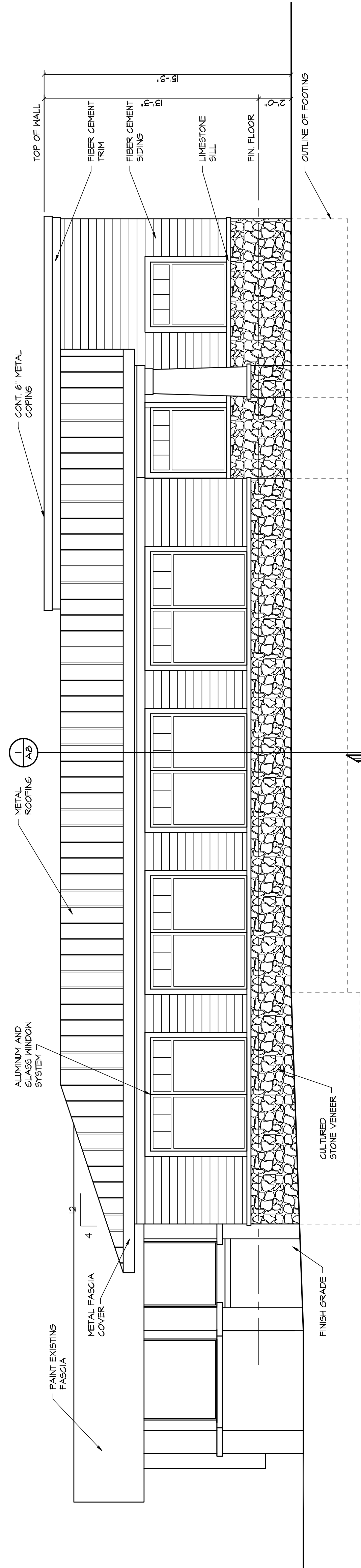




NORTH ELEVATION
 1/4"=1'-0"

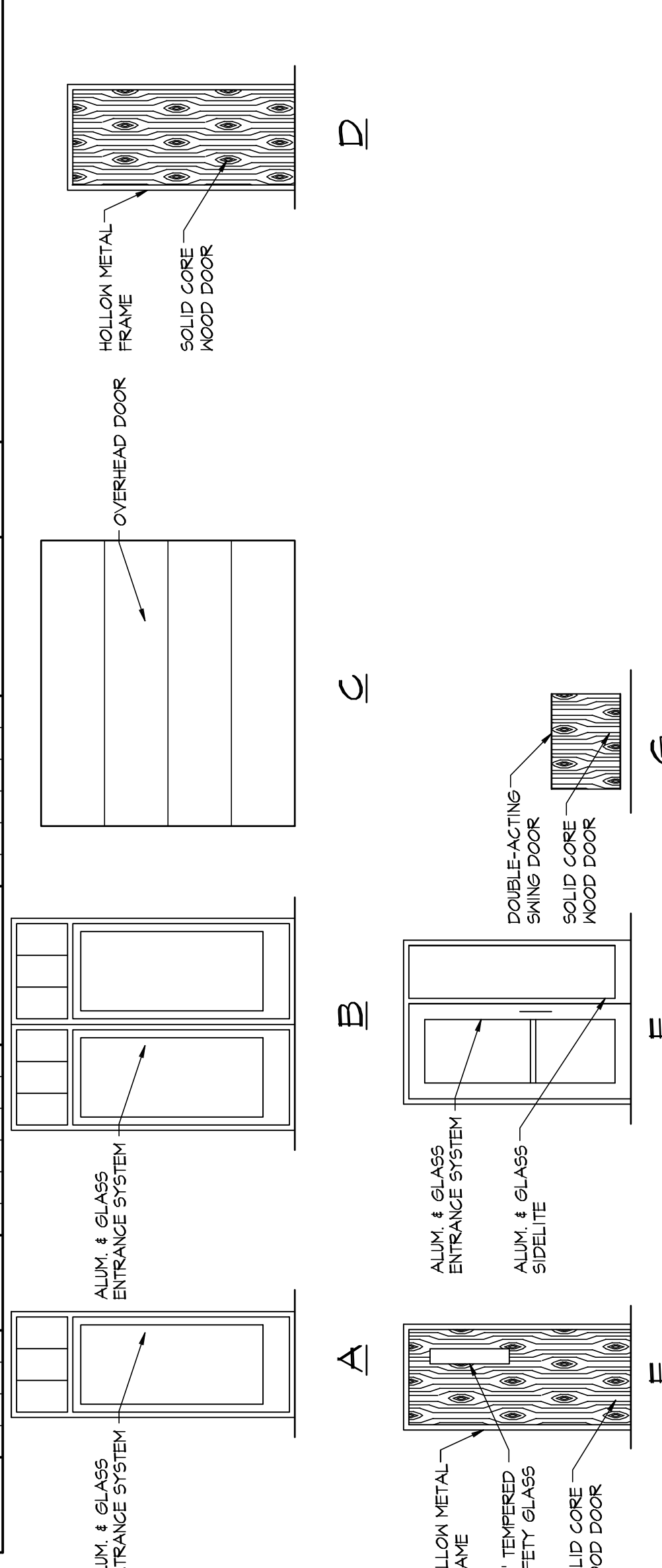


SOUTH ELEVATION
 1/4"=1'-0"



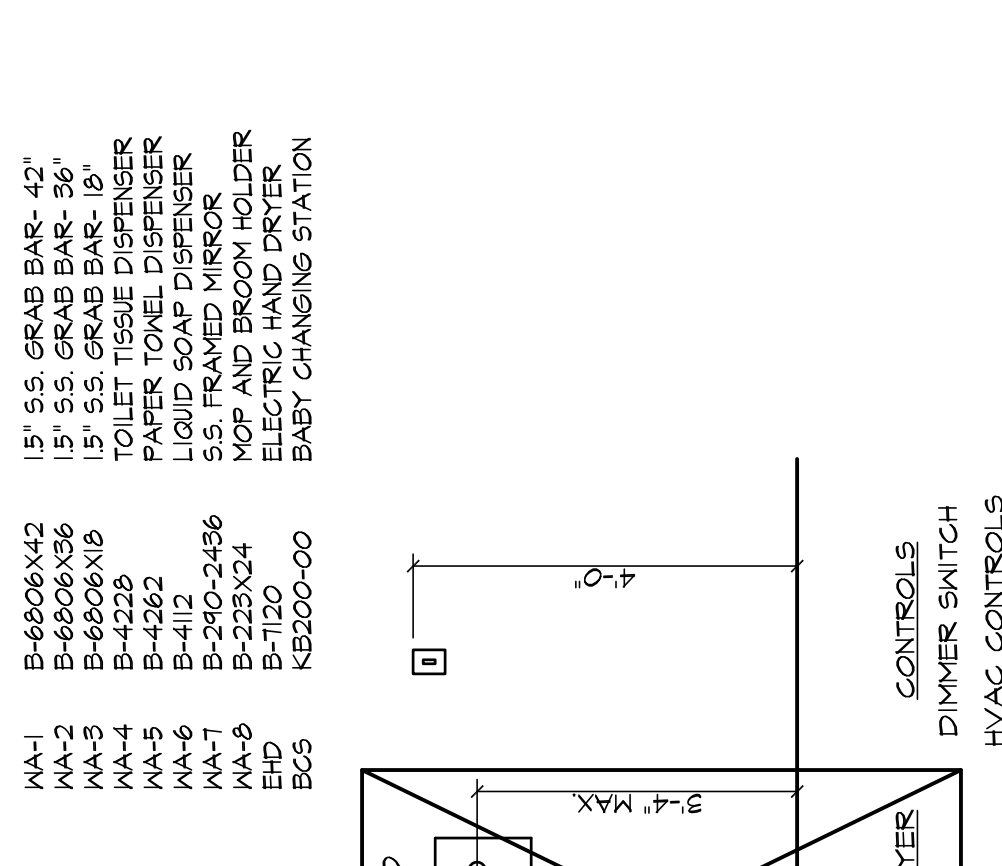
EAST ELEVATION
 1/4"=1'-0"

MARK	SIZE	DOOR				FINISH	MATERIAL	FRAME	HDM.	REMARKS
		TYPE	MATERIAL	FINISH	MATERIAL					
1	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
2	2'-0" x 7'-0"	1	2	3	4	6	EXISTING			
3	3'-0" x 7'-0"	1	2	3	4	6	EXISTING			
4	2'-0" x 2'-2"	1	2	3	4	6	EXISTING			
5	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
6	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
7	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
8	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
9	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
10	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
11	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
12	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
13	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
14	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
15	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
16	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
17	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
18	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
19	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			
20	2'-0" x 4'-0"	1	2	3	4	6	EXISTING			



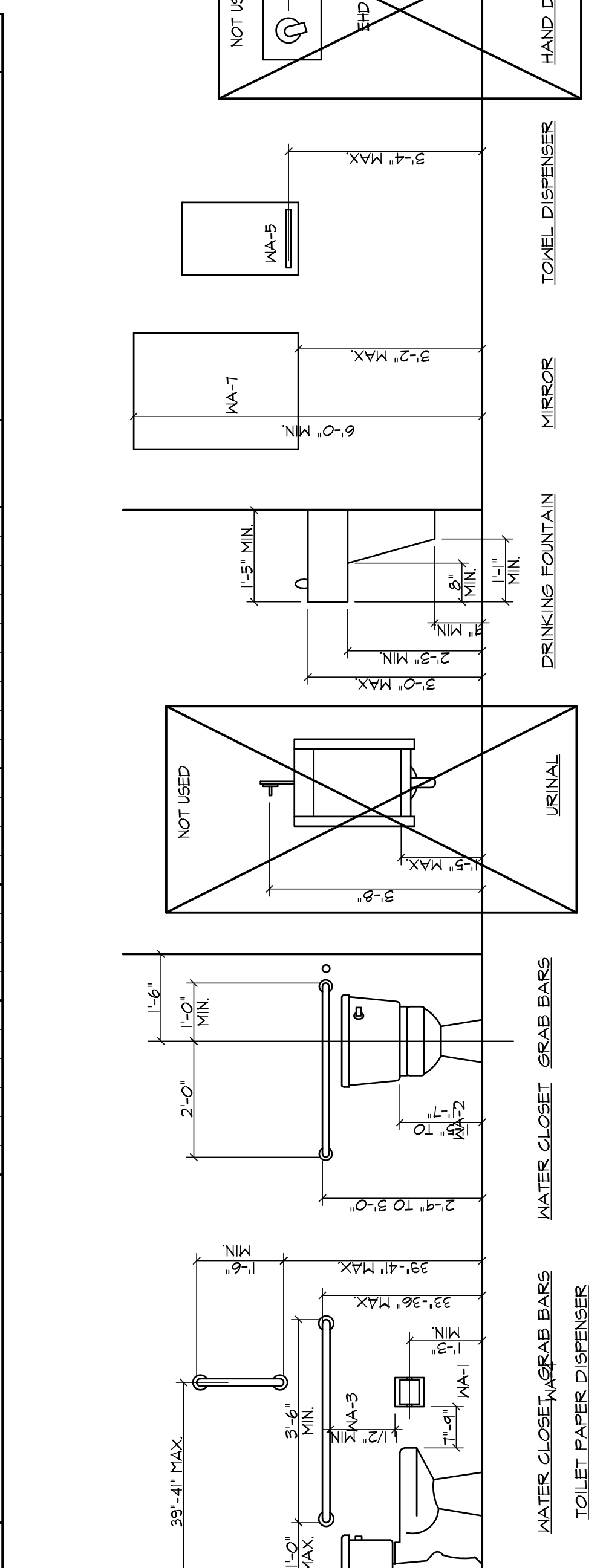
DOOR AND FRAME TYPES
NO SCALE

NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	NO.
100	ENTRY VESTIBULE	1	2	3	4	5	6	100
101	OPEN OFFICE	2	1	1	1	8'-0"		101
102	OFFICE	2	1	1	1	8'-0"		102
103	KITCHENETTE	2	1	1	1	8'-0"		103
104	GARAGE	2	1	1	1	10'-0"		104
105	EXAM ROOM	6	4	4	4			105
106	EXAM ROOM	6	4	4	4			106
107	EXAM ROOM	6	4	4	4			107
108	EXAM ROOM	6	4	4	4			108
109	EXAM ROOM	6	4	4	4			109
110	CHECK-IN	2	1	1	1			110
111	WAITING	2	1	1	1			111
112	PATIENT TOILET	2	1	1	1			112
113	BLOOD DRAW / HEIGHT	2	1	1	1			113
114	CLOSET	2	1	1	1			114
115	LAB	2	1	1	1			115
116	STAFF TOILET	2	1	1	1			116
117	CLOSET	2	1	1	1			117
118	PATIENT TOILET	2	1	1	1			118
119	HALL	2	1	1	1			119



ACCESSORIES SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	NO.
100	ENTRY VESTIBULE	1	2	3	4	5	6	100
101	OPEN OFFICE	2	1	1	1	8'-0"		101
102	OFFICE	2	1	1	1	8'-0"		102
103	KITCHENETTE	2	1	1	1	8'-0"		103
104	GARAGE	2	1	1	1	10'-0"		104
105	EXAM ROOM	6	4	4	4			105
106	EXAM ROOM	6	4	4	4			106
107	EXAM ROOM	6	4	4	4			107
108	EXAM ROOM	6	4	4	4			108
109	EXAM ROOM	6	4	4	4			109
110	CHECK-IN	2	1	1	1			110
111	WAITING	2	1	1	1			111
112	PATIENT TOILET	2	1	1	1			112
113	BLOOD DRAW / HEIGHT	2	1	1	1			113
114	CLOSET	2	1	1	1			114
115	LAB	2	1	1	1			115
116	STAFF TOILET	2	1	1	1			116
117	CLOSET	2	1	1	1			117
118	PATIENT TOILET	2	1	1	1			118
119	HALL	2	1	1	1			119



TYPICAL BARRIER FREE MOUNTING HEIGHTS
ICC/ANSI A117.1-2003 AND MICHIGAN BUILDING CODE
NO SCALE

MARK	SIZE	TYPE	MATERIAL	FINISH	MATERIAL	FRAME	HDM.	REMARKS
1	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
2	2'-0" x 7'-0"	1	2	3	4	6	EXISTING	
3	3'-0" x 7'-0"	1	2	3	4	6	EXISTING	
4	2'-0" x 2'-2"	1	2	3	4	6	EXISTING	
5	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
6	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
7	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
8	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
9	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
10	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
11	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
12	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
13	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
14	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
15	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
16	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
17	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
18	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
19	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
20	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	

NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	NO.
100	ENTRY VESTIBULE	1	2	3	4	5	6	100
101	OPEN OFFICE	2	1	1	1	8'-0"		101
102	OFFICE	2	1	1	1	8'-0"		102
103	KITCHENETTE	2	1	1	1	8'-0"		103
104	GARAGE	2	1	1	1	10'-0"		104
105	EXAM ROOM	6	4	4	4			105
106	EXAM ROOM	6	4	4	4			106
107	EXAM ROOM	6	4	4	4			107
108	EXAM ROOM	6	4	4	4			108
109	EXAM ROOM	6	4	4	4			109
110	CHECK-IN	2	1	1	1			110
111	WAITING	2	1	1	1			111
112	PATIENT TOILET	2	1	1	1			112
113	BLOOD DRAW / HEIGHT	2	1	1	1			113
114	CLOSET	2	1	1	1			114
115	LAB	2	1	1	1			115
116	STAFF TOILET	2	1	1	1			116
117	CLOSET	2	1	1	1			117
118	PATIENT TOILET	2	1	1	1			118
119	HALL	2	1	1	1			119

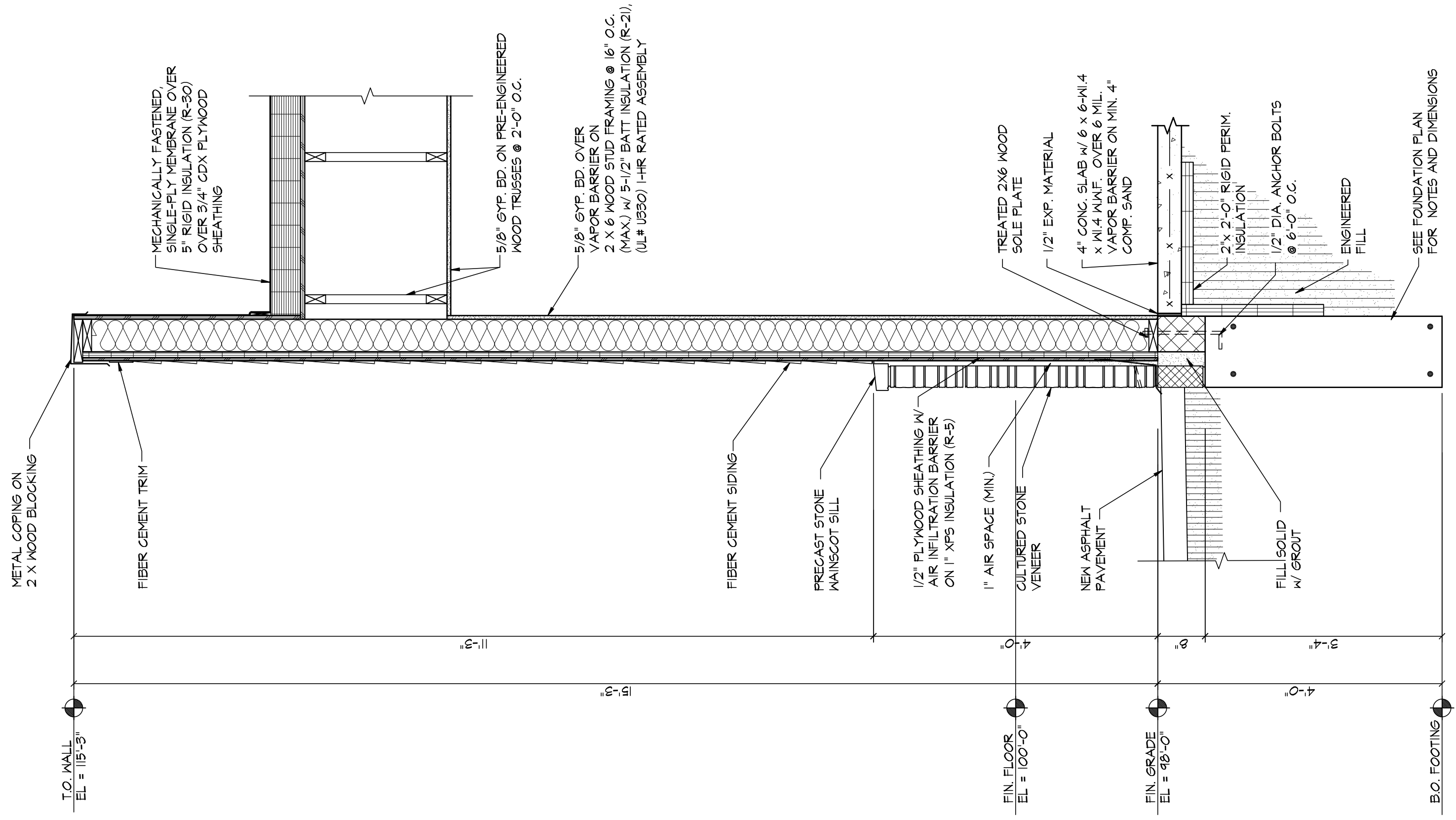
MARK	SIZE	TYPE	MATERIAL	FINISH	MATERIAL	FRAME	HDM.	REMARKS
1	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
2	2'-0" x 7'-0"	1	2	3	4	6	EXISTING	
3	3'-0" x 7'-0"	1	2	3	4	6	EXISTING	
4	2'-0" x 2'-2"	1	2	3	4	6	EXISTING	
5	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
6	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
7	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
8	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
9	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
10	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
11	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
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14	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
15	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
16	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
17	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
18	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
19	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	
20	2'-0" x 4'-0"	1	2	3	4	6	EXISTING	

NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	NO.
100	ENTRY VESTIBULE	1	2	3	4	5	6	100
101	OPEN OFFICE	2	1	1	1	8'-0"		101
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103	KITCHENETTE	2	1	1	1	8'-0"		103
104	GARAGE	2	1	1	1	10'-0"		104
105	EXAM ROOM	6	4	4	4			105
106	EXAM ROOM	6	4	4	4			106
107	EXAM ROOM	6	4	4	4			107
108	EXAM ROOM	6	4	4	4			108
109	EXAM ROOM	6	4	4	4			109
110	CHECK-IN	2	1	1	1			110
111	WAITING	2	1	1	1			111
112	PATIENT TOILET	2	1	1	1			112
113	BLOOD DRAW / HEIGHT	2	1	1	1			113
114	CLOSET	2	1	1	1			114
115	LAB	2	1	1	1			115
116	STAFF							

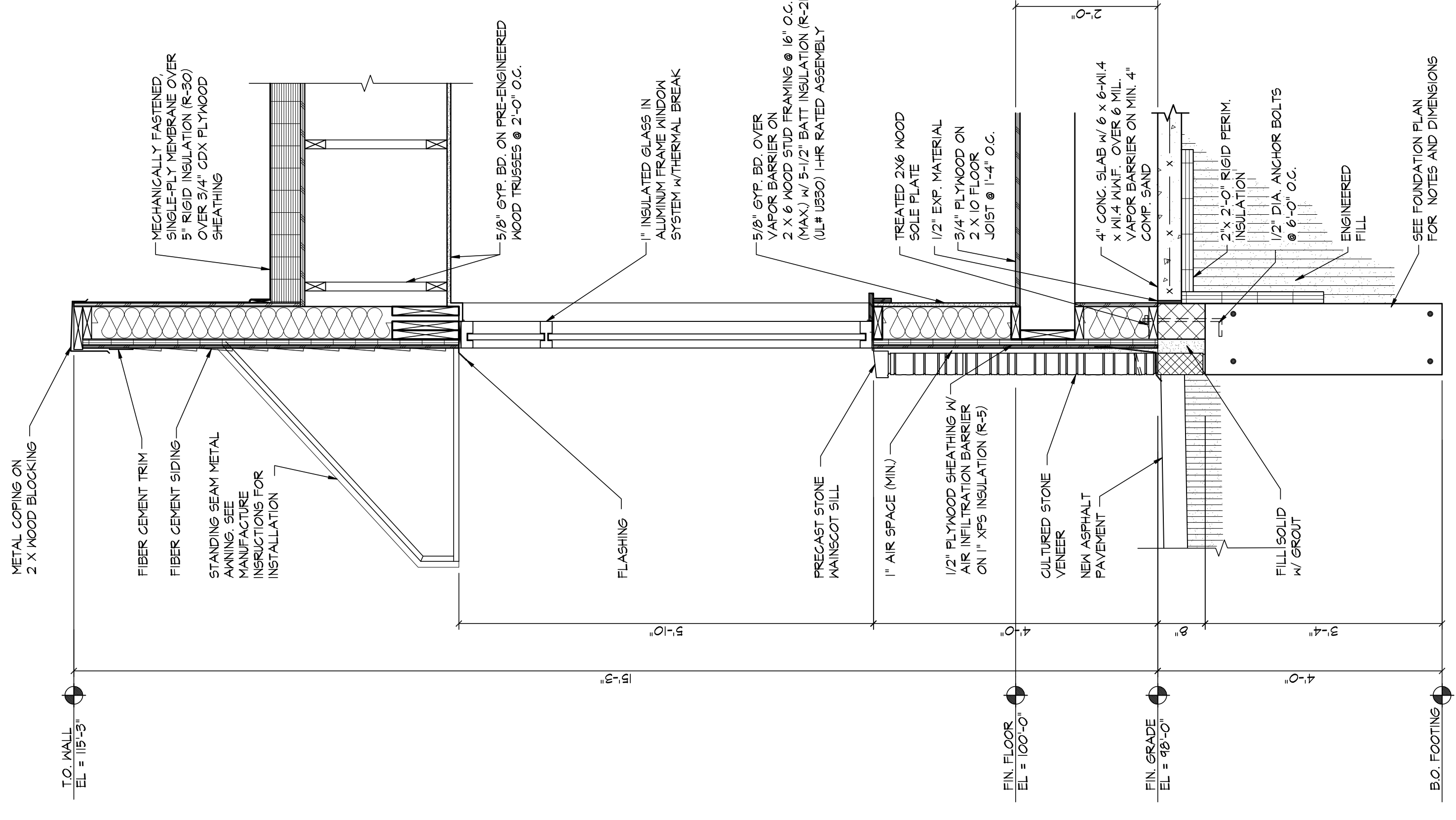
WALL SECTIONS

NO.	REVISIONS

JOB NO: 01H-C993
 DATE: 2-12-2020
 DRAWN BY: JSC, OAH
 SCALE: AS NOTED
 SHEET NO: A7



1 WALL SECTION
 AT 3/4" = 1'-0"



2 WALL SECTION
 AT 3/4" = 1'-0"

REVISIONS	

JOB NO: 01H-C993
 DATE: 2-12-2020
 DRAWN BY: JSC, OAH
 SCALE: AS NOTED
 SHEET NO:

