

**AGENDA
CITY OF SWARTZ CREEK
PLANNING COMMISSION
PAUL D. BUECHE MUNICIPAL BUILDING
TUESDAY, NOVEMBER 10, 2020, 7:00 P.M.**

1. CALL TO ORDER:

2. PLEDGE OF ALLEGIANCE:

3. ROLL CALL: Binder, Campbell, Farmer, Vacant, Grimes, Krueger, Novak, Wyatt, Zuniga.

4. APPROVAL OF AGENDA:

5. APPROVAL OF MINUTES:

6. CORRESPONDENCE:

- A. Resolutions
- B. Minutes: October 13, 2020
- C. Staff Meeting Letter
- D. 7550 Miller Site Plan Application & Correspondence
- E. CIB Review Letters
- F. 7550 Miller Site Plan (PDF & Full Size for Commissioners)

7. MEETING OPENED TO PUBLIC (NON-PUBLIC HEARING ITEMS):

8. BUSINESS:

- A. 7550 Miller Site Plan Application

9. MEETING OPENED TO THE PUBLIC:

10. REMARKS BY PLANNING COMMISSION MEMBERS:

11. ADJOURNMENT:

**RESOLUTIONS
CITY OF SWARTZ CREEK
PLANNING COMMISSION
PAUL D. BUECHE MUNICIPAL BUILDING
TUESDAY, NOVEMBER 10, 2020, 7:00 P.M.**

Resolution No. 201110-__ **Agenda –November 10, 2020**

Motion by Planning Commission Member: _____

I Move the Swartz Creek Planning Commission approves the agenda for the November 10, 2020 Planning Commission meeting.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

Resolution No. 201110-__ **Minutes – October 13, 2020**

Motion by Planning Commission Member: _____

I Move the Swartz Creek Planning Commission approves the Minutes for the October 13, 2020 Planning Commission meeting.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

Resolution No. 201110-__ **Resolution to affirm approval of the site plan for 7550 Miller Road; 58-36-552-010, to enable improvements and use for medical office**

Motion by Planning Commission Member: _____

WHEREAS, the city received a proposal to expand a current medical office, including the provision of parking area and related site improvements, and;

WHEREAS, the project includes building alterations, building additions, and alterations to the grounds surrounding the property, and;

WHEREAS, the planning commission approved the site plan with certain conditions, including the provision of curbing for the north side of the parking lot, and;

WHEREAS, the petitioner requested to amend the application given the uncertainty regarding the necessity for such a provision, and;

NOW, BE IT RESOLVED that the Swartz Creek Planning Commission hereby approves the site plan, dated October 6, 2020 and updated on November 3, 2020.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

Resolution No. 201110-__ Adjourn

Motion by Planning Commission Member: _____

I Move the Swartz Creek Planning Commission adjourns the November 10, 2020 Planning Commission meeting.

Second by Planning Commission Member: _____

Voting For: _____

Voting Against: _____

**CITY OF SWARTZ CREEK
SWARTZ CREEK, MICHIGAN
MINUTES OF OCTOBER 13, 2020**

Meeting called to order at 7:00 p.m. by Commissioner Wyatt.

Pledge of Allegiance.

ROLL CALL:

Commissioners present: Binder, Campbell, Novak, Krueger, Farmer, Zuniga, Wyatt.

Commissioners absent: Farrell, Grimes.

Staff present: Adam Zettel, City Manager.

Others present: Kelly McIntyre, George Hicks, John Costa, Nate Henry, Phil Banacki, Lania Rocha.

APPROVAL OF AGENDA:

Resolution No. 201013-01

(Carried)

Motion by Commissioner Krueger support by Commissioner Farmer, the Swartz Creek Planning Commission approves the agenda for the October 13, 2020 Planning Commission meeting.

Unanimous Voice Vote
Motion Declared Carried

APPROVAL OF MINUTES:

Resolution No. 201013-02

(Carried)

Motion by Commissioner Krueger support by Commissioner Binder the Swartz Creek Planning Commission approves the minutes for the March 10, 2020 Planning Commission meeting.

Unanimous Voice Vote
Motion Declared Carried

MEETING OPENED TO THE PUBLIC:

None.

BUSINESS:

Resolution to approve a site plan for 7550 Miller Road; 58-36-552-010, to enable improvements and use for medical office

Resolution No. 201013-02

(Carried)

Motion by Planning Commission Member Farmer
Second by Planning Commission Member Zuniga

WHEREAS, the city received a proposal to expand a current medical office, including the provision of parking area and related site improvements, and;

WHEREAS, the project includes building alterations, building additions, and alterations to the grounds surrounding the property, and;

WHEREAS, the planning commission acknowledges the prior demolition of a commercial building on this site, a factor that accounted for prior density and impervious surface, and;

WHEREAS, the planning commission, in reviewing the application materials and review criteria in Zoning Ordinance, finds the proposed site plan for the building and parking improvements meets the intent of the zoning ordinance, and;

WHEREAS, the planning commission finds that the site plan, would meet all other general and specific standards applicable if the following conditions are met:

1. Submission of a revised site plan that addresses the informational data under item #1 above [September 28, 2020 CIB Letter];
2. The planting of a low hedge row in the right-of-way to provide required partial screening of vehicles in the parking lot [east side];
3. The north edge of the parking lot be curbed;
4. Extension of the west fence, south to the back (north side) of the adjacent house; and
5. Review and approval from other applicable consultants, departments, and agencies.

NOW, BE IT RESOLVED that the Swartz Creek Planning Commission hereby approves the site plan, dated October 6, 2020, subject to the conditions in this resolution.

Yes: Novak, Krueger, Farmer, Zuniga, Wyatt, Binder, Campbell.
No: None.

Meeting Open to Public:

None.

Remarks by Planning Commission:

Commissioner Farmer thanked is glad to see everyone tonight.

Commissioner Krueger good to see the property upgrading.

Adjourn

Resolution No. 201013-04

(Carried)

Motion by Planning Commission Member Farmer
Second by Planning Commission Member Binder

I Move the Swartz Creek Planning Commission adjourns the October 13, 2020 Planning Commission meeting.

Unanimous Voice Vote
Motion Declared Carried

Meeting adjourned at 7:32 p.m.

Jentery Farmer,
Secretary



Adam Zettel, AICP

City Manager

azettel@cityofswartzcreek.org

Date: November 4, 2020

To: Planning Commissioners
From: Adam Zettel, AICP
RE: November 10, 2020 Planning Commission Meeting

Hello everyone,

We will be meeting at 7:00 p.m. on November 10, 2020. This is one week later than normal and will be an in-person meeting. Attendees must follow social distancing and mask protocols.

We are being requested to reconsider a condition of the site plan for 7550 Miller Road. The petitioner is requesting to amend the plan to allow for parking blocks instead of curbing. This was a condition imposed at the last meeting. After speaking with the chair and the petitioners, I believe the commission should extend their review to this meeting for this purpose instead of forwarding the matter to the Zoning Board of Appeals or requiring a full submission of an amended site plan packet.

The primary reason is in the language of the ordinance, which I suspect was unclear as noted by the consultant at the meeting. Again, the only issue of concern is the curbing requirement for the north edge of the parking area. The petitioner is requesting use of parking blocks. The ordinance reads as follows:

Curbs, parking block: Installation of a curb of at least six inches in height may be required by the planning commission, to prevent motor vehicles from being driven or parked within two feet of abutting landscape areas, sidewalks, streets, buildings, or adjoining property. In lieu of a curb, parking blocks may be substituted to prevent vehicles from extending over grass areas, setback lines, or lot lines.

Note that the Planning Commission absolutely is within rights to require curbing. However, I am not certain it was clear that the commission may allow for parking blocks if they so choose. As such, it appears prudent to revisit this matter.

I am including the revised plans, original review letters, and our recent email correspondence. The resolution is written in the affirmative for approval with parking

8083 Civic Drive

Swartz Creek Michigan 48473

Phone: (810)-635-4464

Fax: (810)-635-2887

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<ftp://cityofswartzcreek.org>

November 10, 2020
Planning Commission

blocks. I believe the commission can proceed with either curbing or parking blocks and will leave the petitioner to make their case directly. Contact me with questions or comments. If I get additional materials, I will send them along!

Sincerely,

A handwritten signature in blue ink that reads "Adam Zettel". The signature is fluid and cursive, with the first name "Adam" and the last name "Zettel" clearly distinguishable.

Adam H. Zettel, AICP
City Manager
City of Swartz Creek
azettel@cityofswartzcreek.org

8083 Civic Drive
Swartz Creek Michigan 48473

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APPLICATION FOR SITE PLAN REVIEW

**City of Swartz Creek
8083 Civic Drive
Swartz Creek, MI 48473
810-635-4464**

Date: 9/17/20 File No: _____
Fee Received: 500- Receipt No: 241761

NOTICE TO APPLICANT:

Regular meetings of the Swartz Creek Planning commission are held on the first Tuesday of each month at 7:00 PM, at the City Hall, 8083 Civic Dr. Application for site plan review shall be filed at least twenty (20) days before the scheduled meeting date.

Applicant should be familiar with all aspects of the City's Zoning Appendix A pertinent to the site plan application, including but not limited to: the appropriate level of site plan review, the site plan process, review standards, performance guarantees, use restrictions, landscaping, parking, design standards, fees, and enforcement.

TO THE PLANNING COMMISSION:

I, (We), the undersigned, do hereby respectfully make application and petition the Planning Commission to recommend approval of the attached site plan as hereinafter requested, and in support of this application, the following facts are shown.

Furthermore, I (We) have attached proof of ownership, information regarding the number of peak employees anticipated to accompany the site plan uses, and the names, addresses, and telephone/fax numbers of any and all engineers, attorneys, architects, and other professionals associated with this project.

The property is located and described, as follows:

Assessment Roll Description No. 58-36 - 552 - 010,

Address: 7550 Miller Rd

Other description: Attached

It has a frontage of: _____ feet and a depth of: _____ feet. Total acreage is: _____

PRESENT ZONING: see site PLAN

If the property is in acreage, and is not therefore a part of a recorded plat: The subject property is located and described as follows: (indicate total acreage also).

Assessment Roll Description No. 58-36 - 552 - 010,

SITE PLAN APPLICANT INFORMATION:

Name: Phil Banacki

Address: 7550 Miller Rd

Phone Number: 8103974278 Email Address: pbanacki @ yahoo.com

SUBJECT PROPERTY IS OWNED BY:

Name: MAHEESH SHARMA (Templar Midwest, LLC)

Address: 8272 Misty Meadows, Grand Blanc MI

Phone Number: 8103974278

It is proposed that the property will be put to the following use:

Dr Office

It is proposed that the following building(s) will be constructed (note gross sq. ft of each):

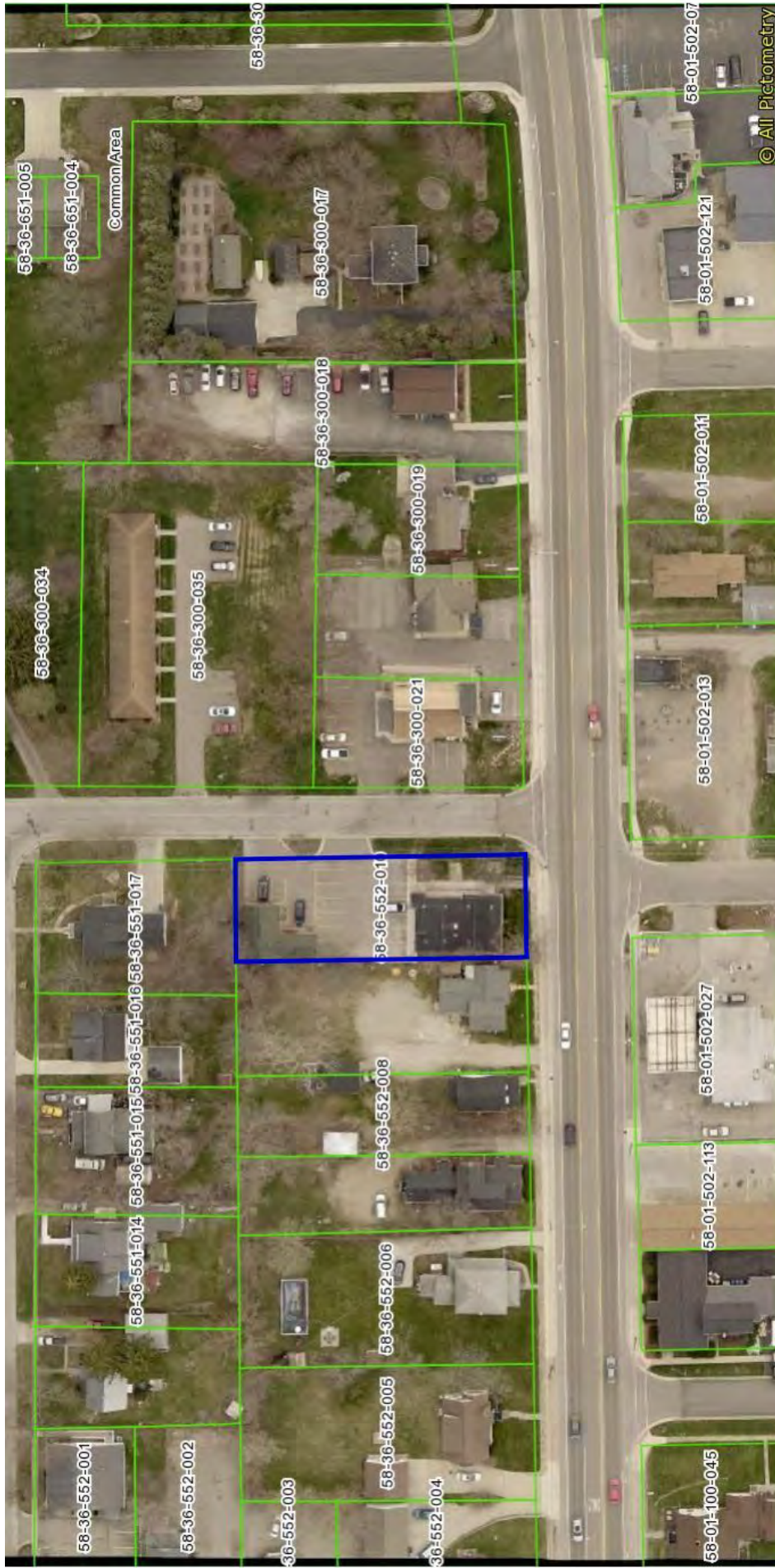
See site PLAN

Signature of Applicant:  Phone Number: 8103974278

Email Address: pbanacki @ yahoo.com

Signature of Owner: _____ Phone Number: 8103974278

7550 Miller



Adam Zettel

From: john costa <jnlcosta@sbcglobal.net>
Sent: Monday, October 26, 2020 3:46 PM
To: Adam Zettel
Cc: thomasawyatt@icloud.com; Phil Banacki; tara.ford@mundytpw-mi.gov; Real Educator2000
Subject: Re: Conditions

Adam,

We would like to ask the Planning Commission to reconsider the curbing/parking blocks item at the next regular meeting.

Thanks,
John K. Costa

On Friday, October 16, 2020, 08:51:51 AM EDT, Adam Zettel <azettel@cityofswartzcreek.org> wrote:

Hello John,

I did consult with Carmine at CIB. He affirms that curbing/blocks are requirement or expectation, but he notes that parking blocks can be used as a substitute by the planning commission, indicating a subordinate role. He felt that, since the commission can go with either, an appeal is not the way to go at the Zoning Board of Appeals. He thinks the planning commission can be asked to reconsider, but this would take additional time to get to the next regular meeting, or it would require a special meeting and about a week.

The site plan will not be complete unless the conditions are met or altered by the PC. Without the site plan approval, the building permit cannot be issued.

Let me know how you wish to proceed.

Adam Zettel, AICP

City Manager

Swartz Creek City

8083 Civic Drive

Swartz Creek, MI 48473

810.635.4464 general office

810.287.2147 mobile

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<https://www.facebook.com/CityofSwartzCreek>

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From: john costa [mailto:jnlcosta@sbcglobal.net]
Sent: Wednesday, October 14, 2020 1:18 PM
To: Adam Zettel <AZettel@cityofswartzcreek.org>
Cc: thomasawyatt@icloud.com; Phil Banacki <banackiproperties@realtyagent.com>
Subject: Re: Conditions

I think it's something that should be pursued, but I don't want to hold up a building permit because of it.

I don't know the process for amending an approved site plan, so if there is one, let's please follow that.

Should also get an acknowledgement from the consultant that it is not a requirement.

On Wednesday, October 14, 2020, 12:35:50 PM EDT, Adam Zettel <azettel@cityofswartzcreek.org> wrote:

Hello John,

It does seem clear that the ordinance and letter give the PC latitude to opt for curb or blocks. I do not know the extent to which folks relied on this or the verbal input of the planner. Unfortunately, I cannot alter the resolution or the decision that the planning commission made. I think the requirement could be addressed at the next PC meeting or appealed to the ZBA, but I do not have the ability to override it administratively.

Let me know how you wish to proceed.

Adam Zettel, AICP

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From: john costa [<mailto:jnrcosta@sbcglobal.net>]
Sent: Wednesday, October 14, 2020 11:14 AM
To: Adam Zettel <AZettel@cityofswartzcreek.org>
Cc: thomasawyatt@icloud.com; Phil Banacki <banackiproperties@realtyagent.com>
Subject: Re: Conditions

Adam,

I can revise the site plans according to the comments from last night and below. However, I would like to challenge the requirement of Item #3- curbing at the north property line.

At the meeting last night I specifically asked the Planning Consultant if the curbing was required in the Zoning Ordinance, in which her response was, yes it was. Upon review of the ordinance this morning, it clearly indicates that parking blocks may be substituted for curbs. See excerpt from Section 18.05 (E):

E.

Curbs, parking block: Installation of a curb of at least six inches in height may be required by the planning commission, to prevent motor vehicles from being driven or parked within two feet of abutting landscape areas, sidewalks, streets, buildings, or adjoining property. **In lieu of a curb, parking blocks may be substituted to prevent vehicles from extending over grass areas, setback lines, or lot lines.**

Further, Item 6, Bumper Blocks, in the review letter states "we recommend" not that it is required. I believe the Planning Commission acted on the item, as it was presented as a requirement.

As you may be aware, the COVID pandemic has resulted in a shortage of construction materials, and very significant increases in the cost of many construction materials. It is my understanding, that lumber alone, has increased by 40 percent. The additional expense of the burden to provide new concrete curbing along the north property line, when it isn't required, along with the other unexpected increases just puts a greater financial burden on the owner.

Please advise if this item can be omitted from the resubmittal.

Thanks,

John K. Costa

On Wednesday, October 14, 2020, 09:25:40 AM EDT, Adam Zettel <azettel@cityofswartzcreek.org> wrote:

Hello John,

Will you be able to affirm the conditions and submit a final, digital plan?

The conditions were:

1. Submission of a revised site plan that addresses the informational data under item #1 above*;
2. The planting of a low hedge row in the right-of-way to provide required partial screening of vehicles in the parking lot [east side];
3. The north edge of the parking lot be curbed;
4. Extension of the west fence, south to the back (north side) of the adjacent house; and
5. Review and approval from other applicable consultants, departments, and agencies.

***1. Informational Data:** The following information must be provided in a revised submission:

- a. The site plan should be signed and sealed by the architect;
- b. Any revision dates must be included; and
- c. The site plan should indicate the use and treatment for the 10'1" wide area at the northwest corner of the building.

Adam Zettel, AICP

City Manager

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any contractual obligation on behalf of the sender or the City of Swartz Creek and, when applicable, the opinions expressed here are my own and do not necessarily represent those of the City.



September 21, 2020

Planning Commission
 City of Swartz Creek
 8083 Civic Drive
 Swartz Creek, MI 48473

Attention: Adam Zettel, City Manager

Subject	7550 Miller Road Site Plan Review Request
Description of Application	Site Plan Review for office building additions and site improvements at the corner of Miller Road and Frederick Street.
Applicant	Templar Midwest, LLC 8272 Misty Meadows Grand Blanc, MI 48439
Zoning	CBD, Central Business District
Site Plan Date	December 1, 2019

Dear Commissioners:

We have reviewed the above site plan application for a 1,296 square foot addition to the above office building, along with parking lot and site improvements. The property is located at the northwest corner of Miller Road and Frederick Street and a former garage structure was previously removed from the rear of the site. The building is a one-story structure with a brick and stone exterior, along with a seamless metal mansard roof. Proposed is an expansion on the north and east sides of the building; the closing of a parking lot entryway on Frederick Street; improvement of the 12-space parking lot; and erection of a steel carport along the north property line.

The opinions in this report are based on a review of the proposed revised site plan, conditions of Planning Commission approval meetings, and conformance to City ordinance standards. Key review item points in this letter are underlined for the benefit of the applicant. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application.

REVIEW COMMENTS

Section 21.06, Application for full site plan review, of the ordinance, requires the submission of a site plan meeting the requirements of the City of Swartz Creek Zoning Ordinance. Based upon our review of the submitted site plan, we offer the following comments for your consideration:

1. **Informational Data:** The following information must be provided in a revised submission:
 - a. The site plan should be signed and sealed by the architect;
 - b. Any revision dates must be included;
 - c. The site plan should indicate the use and treatment for the 10'1" wide area at the northwest corner of the building;
 - d. Details and the location of any new lighting fixtures; and
 - e. A detail is needed for the steel carport structure.

2. **Dimensional Requirements:** Maximum density, minimum floor area and maximum height shall comply with the dimensional standards of the CBD, Central Business District. Since this is a building expansion on an existing site, only the applicable height, bulk, density, and area requirements are covered here:

CBD Standard	Required	Provided	Comment
Minimum Side Yard Setback	Interior - 0 feet Exterior – 10 feet	Interior - 10' 1" Exterior - 10' 3"	<i>Meets standard</i>
Minimum Rear Yard Setback	20 feet for building and 5-foot greenbelt	0 feet	<i>The building setback is met but the parking lot greenbelt requirement has not been met.</i>
Maximum Lot Coverage	0%	57%	<i>Meets standard</i>

3. **Parking Spaces Required.** The site plan indicates that 9 parking spaces are required but our calculations based upon the square footage numbers provided indicates that 12 spaces are required (3,063 s.f./1000 x 4 = 12 spaces). 12 parking spaces are currently proposed but that may change based upon other ordinance requirements below.

4. **Parking Lot Setback.** *Section 8.02(G), Site Development Requirements*, of the ordinance states that "A minimum of five-foot wide greenbelt shall be provided adjacent to a residential district and no structures or off-street parking spaces shall be located within the greenbelt." The proposed parking lot abuts the R-3, Downtown Residential District to the north and the property is occupied by a single-family residential structure. This ordinance requirement has not been met since the parking lot abuts the north property line, as does the proposed carport.

5. **Parking Lot Screening.** The ordinance requires that the parking lot be screened from Frederick Street. Since this is an existing parking lot located on a narrow parcel, where a setback is not possible, we recommend that a low hedgerow be provided in the right-of-way. This will allow partial screening of vehicles in the lot without negatively impacting the amount of parking. City approval will be needed, since this is a City street, and details of the plantings are needed.

6. **Bumper Blocks.** We recommend that the north side of the parking lot be curbed, since bumper blocks rarely stay in place, and there is no reason why curbing cannot be installed.

7. **Carport.** *Section 18.02 (P), Carports and Garages*, of the ordinance, states that “Carports shall be screened on the sides or front end facing any public or internal street or drive.” The proposed carport on the north end of the parking lot is not screened from Frederick Street.
8. **Sidewalk.** *Section 8.02(F), Site Development Requirements*, of the ordinance states that “A minimum five-foot wide concrete sidewalk shall be provided within the road right-of-way for the entire frontage along a street.” Since this is an existing site and there is a significant grade change from north to south, it would be impractical to place a sidewalk along the Frederick Street frontage. There is an existing sidewalk along the Miller Road frontage for the property.
9. **Building Addition.** The proposed addition utilizes a combination of cultured stone veneer, fiber cement siding, and a seamless metal roof that blends in with the existing roof. These are appropriate materials for a commercial building and should blend in with the existing structure.
10. **Access and Circulation:** One (1) access point will be eliminated by this project, better meeting ordinance requirements.
11. **Other Department and Agency Review:** Site plan approval must be conditioned upon review and approval from other applicable consultants, departments, and agencies.

RECOMMENDATION

Based upon the above comments, we recommend that a revised site plan be submitted for our re-review prior to placement on the Planning Commission agenda.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB PLANNING



Carmine P. Avantini, AICP
President



September 28, 2020

Planning Commission
 City of Swartz Creek
 8083 Civic Drive
 Swartz Creek, MI 48473

Attention: Adam Zettel, City Manager

Subject	7550 Miller Road <i>Revised</i> Site Plan Review Request
Description of Application	Site Plan Review for office building additions and site improvements at the corner of Miller Road and Frederick Street.
Applicant	Templar Midwest, LLC 8272 Misty Meadows Grand Blanc, MI 48439
Zoning	CBD, Central Business District
Site Plan Date	9-25-20

Dear Commissioners:

We have reviewed the above *revised* site plan application for a 1,296 square foot addition to the above office building, along with parking lot and site improvements. The property is located at the northwest corner of Miller Road and Frederick Street and a former garage structure was previously removed from the rear of the site. The building is a one-story structure with a brick and stone exterior, along with a seamless metal mansard roof. Proposed is an expansion on the north and east sides of the building; the closing of a parking lot entryway on Frederick Street; and improvement of the proposed 12-space parking lot.

The opinions in this report are based on a review of the proposed revised site plan, conditions of Planning Commission approval meetings, and conformance to City ordinance standards. Key review item points in this letter are underlined for the benefit of the applicant. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application.

REVIEW COMMENTS

Section 21.06, Application for full site plan review, of the ordinance, requires the submission of a site plan meeting the requirements of the City of Swartz Creek Zoning Ordinance. Based upon our review of the submitted site plan, we offer the following comments for your consideration:

1. **Informational Data:** The following information must be provided in a revised submission:
 - a. The site plan should be signed and sealed by the architect;
 - b. Any revision dates must be included; and
 - c. The site plan should indicate the use and treatment for the 10'1" wide area at the northwest corner of the building.

2. **Dimensional Requirements:** Maximum density, minimum floor area and maximum height shall comply with the dimensional standards of the CBD, Central Business District. Since this is a building expansion on an existing site, only the applicable height, bulk, density, and area requirements are covered here:

CBD Standard	Required	Provided	Comment
Minimum Side Yard Setback	Interior - 0 feet Exterior – 10 feet	Interior - 10' 1" Exterior - 10' 3"	<i>Meets standard</i>
Minimum Rear Yard Setback	20 feet for building and 5-foot greenbelt	0 feet	<i>Meets standard</i>
Maximum Lot Coverage	0%	57%	<i>Meets standard</i>

3. **Parking Spaces Required.** The site plan indicates that 9 parking spaces are required but our calculations based upon the square footage numbers provided indicates that 12 spaces are required (3,063 s.f./1000 x 4 = 12 spaces) and 12 parking spaces are provided.

4. **Parking Lot Setback.** *Section 8.02(G), Site Development Requirements*, of the ordinance states that "A minimum of five-foot wide greenbelt shall be provided adjacent to a residential district and no structures or off-street parking spaces shall be located within the greenbelt." The proposed parking lot abuts the R-3, Downtown Residential District to the north and the property is occupied by a single-family residential structure. This ordinance requirement has been met with a 5-foot setback and decorative vinyl fence.

5. **Parking Lot Screening.** The ordinance requires that the parking lot be screened from Frederick Street. Since this is an existing parking lot located on a narrow parcel, where a setback is not possible, we recommend that a low hedgerow be provided in the right-of-way. This will allow partial screening of vehicles in the lot without negatively impacting the amount of parking. City approval will be needed, since this is a City street, and details of the plantings are needed.

6. **Bumper Blocks.** We recommend that the north edge of the parking lot be curbed, since bumper blocks rarely stay in place, and there is no reason why curbing cannot be installed (especially since the east side of the parking lot is to be curbed).

7. **Parking Lot Lighting.** The applicant has indicated that no new parking lot lighting will be installed.

8. **Sidewalk.** *Section 8.02(F), Site Development Requirements*, of the ordinance states that "A minimum five-foot wide concrete sidewalk shall be provided within the road right-of-way for the entire frontage along a street." Since this is an existing site and there is a significant grade change from north to south, it would be impractical to place a sidewalk along the Frederick Street frontage. There is an existing sidewalk along the Miller Road frontage for the property.

9. **Building Addition.** The proposed addition utilizes a combination of cultured stone veneer, fiber cement siding, and a seamless metal roof that blends in with the existing roof. These are appropriate materials for a commercial building and should blend in with the existing structure.
10. **Access and Circulation:** One (1) access point will be eliminated by this project, better meeting ordinance requirements.
11. **Other Department and Agency Review:** Site plan approval must be conditioned upon review and approval from other applicable consultants, departments, and agencies.

RECOMMENDATION

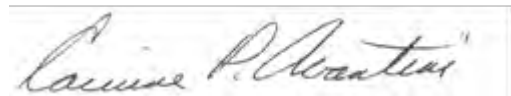
Based upon the above comments, **we recommend approval of the site plan for 7550 Miller Road,** conditioned upon the following:

1. Submission of a revised site plan that addresses the informational data under item #1 above;
2. The planting of a low hedge row in the right-of-way to provide required partial screening of vehicles in the parking lot;
3. The north edge of the parking lot be curbed; and
4. Review and approval from other applicable consultants, departments, and agencies.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB PLANNING



Carmine P. Avantini, AICP
President

PROJECT INFORMATION

OWNER / DEVELOPER: TEMPLAR MIDWEST, LLC
8272 MISTY MEADOWS
GRAND BLANC, MI 48434
810-558-0682

ZONING: CBD-CENTRAL BUSINESS DISTRICT
PROPOSED LAND USE: MEDICAL OFFICE BUILDING

PARCEL #1: 58-56-552-010
BUILDING & LOT COVERAGE: 11,600 SF (0.21 ACRES)
EXISTING BUILDING AREA: 1761 SF
NEW BUILDING AREA: 1296 SF
TOTAL BUILDING AREA: 3057 SF
AREA USED FOR STRUCTURE: 26 %

IMPERVIOUS/PAVED AREA: 6680 SF, 51 % OF SITE

THE LOCATION OF THE NEW ADDITION TO THE BUILDING IS OVER A CURRENTLY PAVED AREA. THE CHANGE OF IMPERVIOUS SURFACE IS 0%.

GENERAL REGULATIONS (SECTION 19.02):
MAXIMUM HEIGHT: 40 FEET OR 3 STORIES
MINIMUM SETBACK: 0% SIDEWALK FEET
MAXIMUM COVERAGE: 5 FEET
MAXIMUM FRONT YARD SETBACK: 0 FEET
MINIMUM SIDE YARD SETBACK: 30 FEET
MINIMUM REAR YARD SETBACK: 30 FEET

EXISTING USE: VACANT MEDICAL OFFICE
PROPOSED USE: MEDICAL OFFICE

PARKING REQUIREMENTS:
CENTRAL BUSINESS DISTRICT-
4 SPACES PER 1200 SQ. FT. OF FLOOR AREA
FLOOR AREA: 22,247 SF (80655)/(20005.F. X 4+ 4 SPACES)
TOTAL REQUIRED: 9 SPACES
TOTAL PROVIDED: 12 SPACES + 1 GARAGE SPACE

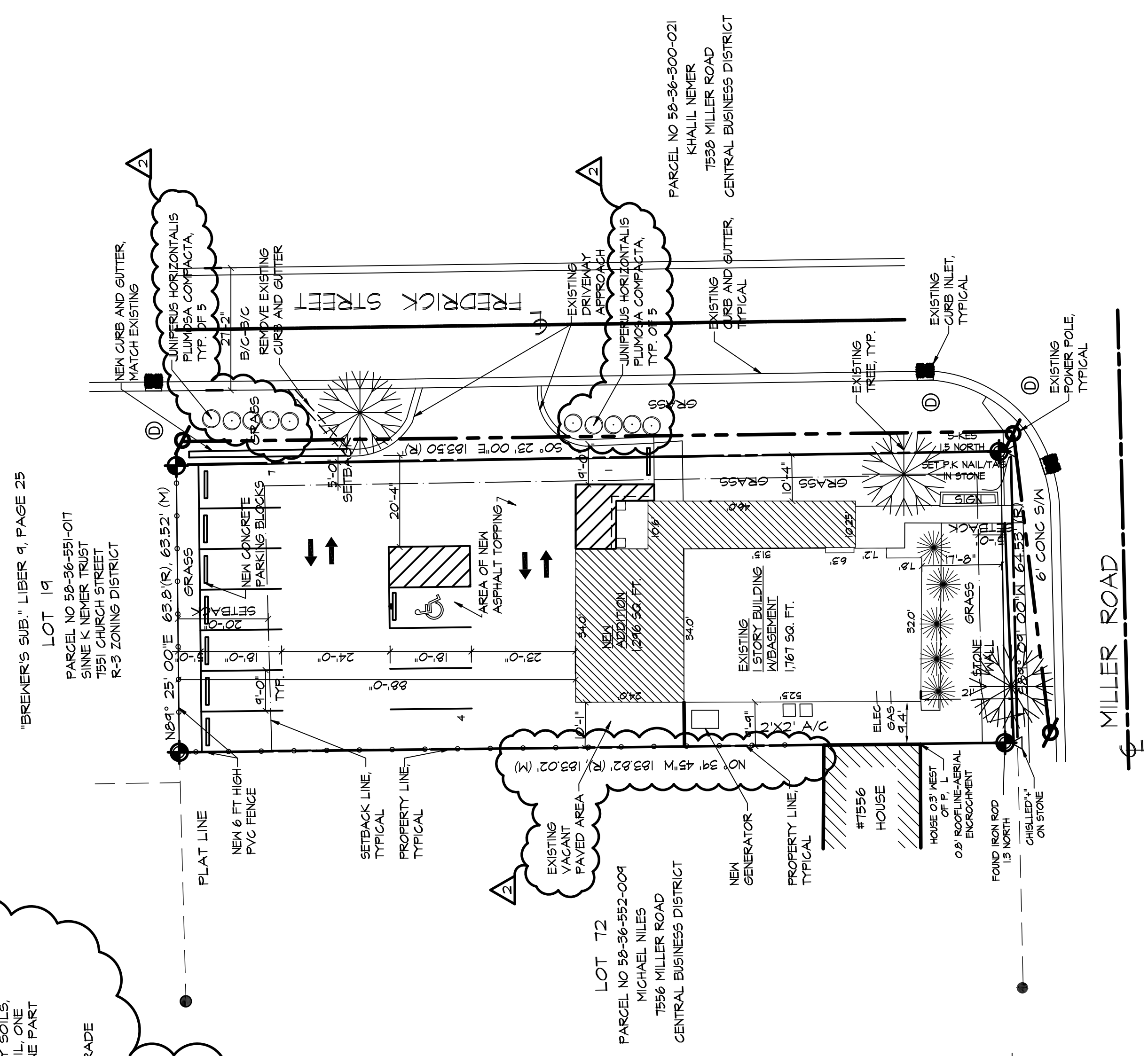
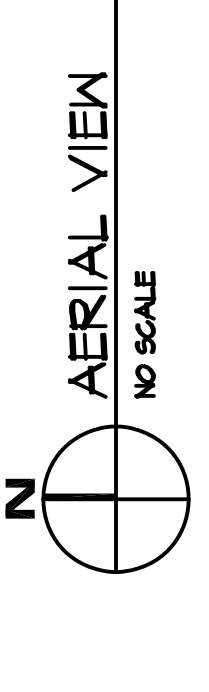
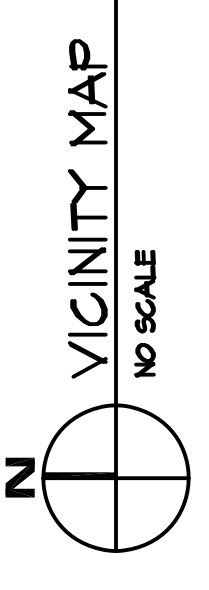
BARRIER-FREE: 1 SPACE REQUIRED/1 SPACE PROVIDED
LOADING/UNLOADING: NOT REQUIRED PER ZONING SEC. 18.06(A).

LEGAL DESCRIPTION

LAND SITUATED IN THE CITY OF SWARTZ CREEK, COUNTY OF GENESEE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
LOT 13, SUPERVISORS PLAY OF SWARTZ CREEK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 11 OF PLATS, PAGE 42, GENESEE COUNTY RECORDS.

NOTES

- SITE DATA OBTAINED FROM CITY OF SWARTZ CREEK ASSESSMENT DIVISION AND PARCEL/REAL PROPERTY LOOK UP ON CITY OF SWARTZ CREEK OFFICIAL WEBSITE, AND BOUNDARY SURVEY AS PREPARED BY TEMPLAR MIDWEST, LLC, 12/1/2014, AND SURVEYING RECORDS, AND SURVEYING TOPOGRAPHIC SURVEY, AS PREPARED BY TEMPLAR MIDWEST, LLC, 12/1/2014, AND SURVEYING TOPOGRAPHIC SURVEY, AS PREPARED BY TEMPLAR MIDWEST, LLC, 12/1/2014, AND SURVEYING TOPOGRAPHIC SURVEY, AS PREPARED BY TEMPLAR MIDWEST, LLC, 12/1/2014.
- CALL "MISS DIG" PRIOR TO EXCAVATION FOR BUILDING OR UTILITIES. 1-800-462-1111
- ALL EXTERIOR LIGHT FIXTURES SHALL BE SHIELDED AND REFLECTED TO PREVENT GLARE ON ADJACENT PROPERTIES.
- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- VAN ACCESSIBLE, BARRIER-FREE PARKING SPACE TO BE 9' WIDE MIN. X 18' LONG, WITH AN 8' WIDE ACCESS AISLE. (SEE NOTE #6)
- PROVIDE BARRIER-FREE SIGNAGE AND GRAPHICS AS PER "MICHIGAN BARRIER-FREE DESIGN" REQUIREMENTS.
- PERPENDICULAR PARKING SPACES TO BE 4' WIDE (MIN.) X 18' LONG (MIN.)



PROPOSED BUILDING ADDITION/RENOVATIONS FOR TEMPLAR MIDWEST, LLC

7550 MILLER ROAD, SWARTZ CREEK, MI 48473

BUILDING DATA/ CODE REVIEW

PROJECT SCOPE INCLUDES BUILDING ADDITION AND INTERIOR RENOVATIONS OF AN EXISTING VACANT MEDICAL OFFICE INTO A NEW MEDICAL CLINIC. WORK INCLUDES SELECTIVE DEMOLITION, NEW CONSTRUCTION, AND NEW FINISHES UTILISING THE 2015 MICHIGAN BUILDING CODE.

APPLICABLE CODES:
MICHIGAN BUILDING CODE - 2015
ACCESSIBILITY 110/ANSI A117-2004
INTERNATIONAL FIRE CODE - 2015
MICHIGAN ELECTRICAL CODE - 2015
MICHIGAN PLUMBING CODE - 2015
STATE OF MICHIGAN ELECTRICAL CODE (MEC-2017) IV PART 8 AMENDMENTS

1. USE GROUP:
B. BUSINESS (MEDICAL OFFICE)
U. UTILITY & MISCELLANEOUS (PRIVATE GARAGE)
2. TYPE OF CONSTRUCTION:
A. TYPE VB (BB), COMBUSTIBLE, UNPROTECTED
3. ALLOWABLE HEIGHTS AND AREAS (TABLE 506.2):
GROUP B, "5B" = 4,000 SF ALLOWED
EXISTING BUILDING - 1,161 SQ. FT.
PROPOSED ADDITION - 1,246 SQ. FT.
BUILDING FIRST FLOOR TOTAL - 3,063 SQ. FT.
4. OCCUPANT LOAD (TABLE 1004.1.2):
BUSINESS AREAS= 100 GROSS SQ. FT./PER OCCUPANT
2,715 SQ. FT./100 SQ. FT. PER OCCUPANT = 28 OCCUPANTS.
5. SEPARATION FROM OTHER USES (MEC TABLE 508.3.3)
A. NO SEPARATION REQUIRED
6. AUTOMATIC SPRINKLER SYSTEM (SEC. 903.2.7)
A. THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC SPRINKLER SYSTEM, AND IT IS NOT REQUIRED FOR THIS USE.
7. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS PERMITTED IN GROUP B.
LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR A BUSINESS USE, THEREFORE NOT REQUIRED.
8. NUMBER OF EXITS AND CONTINUITY (MEC, SECTION 1006.2.1):
OCCUPANT LOAD IS LESS THAN 44 OCCUPANTS, AND TRAVEL DISTANCE IS LESS THAN 125 FEET. ONE EXIT REQUIRED, TWO EXITS PROVIDED.

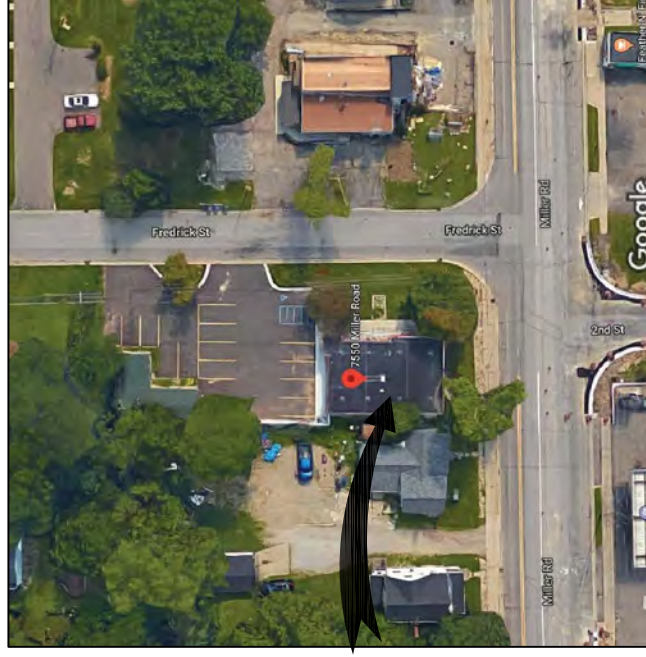
9. DOOR SWINGS (SECTION 1001.2):
DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.
10. MEANS OF EGRESS DOORS (SECTION 1001.4):
THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF TOOLS, KEYS, COORDINATION, OR SPECIAL KNOWLEDGE. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE PER CHAPTER 11 OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE.
11. MEANS OF EGRESS ILLUMINATION (SECTION 1009):
ALL TIMES THE SPACE IS OCCUPIED THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
12. EXIT SIGNS (SECTION 1013):
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

13. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
a) WALL AND CEILING FINISHES (TABLE 803.1), NON-SPRINKLED ROOMS OR SPACES OF USE GROUP B, SHALL HAVE A MINIMUM CLASS C RATING. FLAME SPREAD 16-200, SMOKE DEVELOPED 0-450.
b) INTERIOR FLOOR FINISHES (SECTION 804): WHERE A BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, CLASS II (2) MATERIALS ARE PERMITTED IN GROUP B.

SCHEDULE OF DRAWINGS

NO.	COVER/TITLE SHEET	158 FOR PERMIT	159-2020	4-15-2020	10-4-2020
A	COVER/TITLE SHEET	■	■	■	■
I	ARCHITECTURAL TOPOGRAPHICAL SURVEY	■	■	■	■
C1	SITE/LOT PLAN AND NOTES	■	■	■	■
C2	GRADING AND UTILITY PLAN	■	■	■	■
S1	FOUNDATION PLAN AND NOTES	■	■	■	■
S2	ROOF FRAMING PLAN AND NOTES	■	■	■	■
A1	DEMOLITION PLAN AND NOTES	■	■	■	■
A2	FLOOR PLAN AND NOTES	■	■	■	■
A3	REFLECTED CEILING PLAN	■	■	■	■
A4	ROOF PLAN	■	■	■	■
A5	EXTERIOR ELEVATIONS	■	■	■	■
A6	ROOM FINISH AND DOOR SCHEDULES	■	■	■	■
A7	WALL SECTIONS	■	■	■	■
A8	WALL SECTIONS	■	■	■	■

158 FOR PERMIT
159-2020
4-15-2020
10-4-2020
SITE PLAN REVIEW
SITE PLAN REVIEW



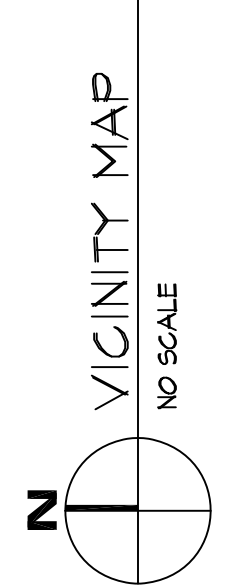
PROJECT LOCATION



PROJECT LOCATION



AERIAL VIEW
NO SCALE



VICINITY MAP
NO SCALE

REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:
JOHN K. COSTA, AIA, STATE OF MICHIGAN (D. NO. 1501028497
EXPIRATION DATE: OCTOBER 31, 2021

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL MUNICIPALITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REFERRED SUBMITTALS:
PLUMBING PERMITS AND SPECIFICATIONS
MECHANICAL DRAWINGS AND SPECIFICATIONS
ELECTRICAL DRAWINGS AND SPECIFICATIONS

PROJECT INFORMATION

OWNER / DEVELOPER:
TEMPLAR MIDWEST, LLC
8272 MISTY MEADOWS
GRAND BLANC, MI 48434
810-558-0682

ZONING:
MEDICAL OFFICE BUILDING

PROPOSED LAND USE:
MEDICAL OFFICE BUILDING

PARCEL #:
58-56-552-010

BUILDING & LOT COVERAGE:
TOTAL GROSS LOT AREA: 11,600 SF (0.27 ACRES)
EXISTING BUILDINGS AREA: 1761 SF
NEW BUILDINGS AREA: 1296 SF
TOTAL BUILDINGS AREA: 3057 SF
AREA USED FOR STRUCTURE: 26 %

IMPERVIOUS/PAVED AREA: PAVING: 6650 SF, 51 % OF SITE

THE LOCATION OF THE NEW ADDITION TO THE BUILDING IS OVER A CURRENTLY PAVED AREA. THE CHANGE OF IMPERVIOUS SURFACE IS 0%.

GENERAL REGULATIONS (SECTION 19.02):
MAXIMUM HEIGHT: 40 FEET OR 3 STORIES
MAXIMUM OVERHANG: 0%
MAXIMUM COVERAGE: 0%
MAXIMUM FRONT YARD SETBACK: 5 FEET
MINIMUM SIDE YARD SETBACK: 0 FEET
MINIMUM REAR YARD SETBACK: 20 FEET

EXISTING USE:
VACANT MEDICAL OFFICE

PROPOSED USE:
MEDICAL OFFICE

PARKING REQUIREMENTS:
CENTRAL BUSINESS DISTRICT - 4 SPACES PER 1000 SQ. FT. OF FLOOR AREA
FLOOR AREA: 2247 SF (80265)/(10005 F. X 4 = 4 SPACES)
TOTAL REQUIRED: 9 SPACES
TOTAL PROVIDED: 12 SPACES + 1 GARAGE SPACE

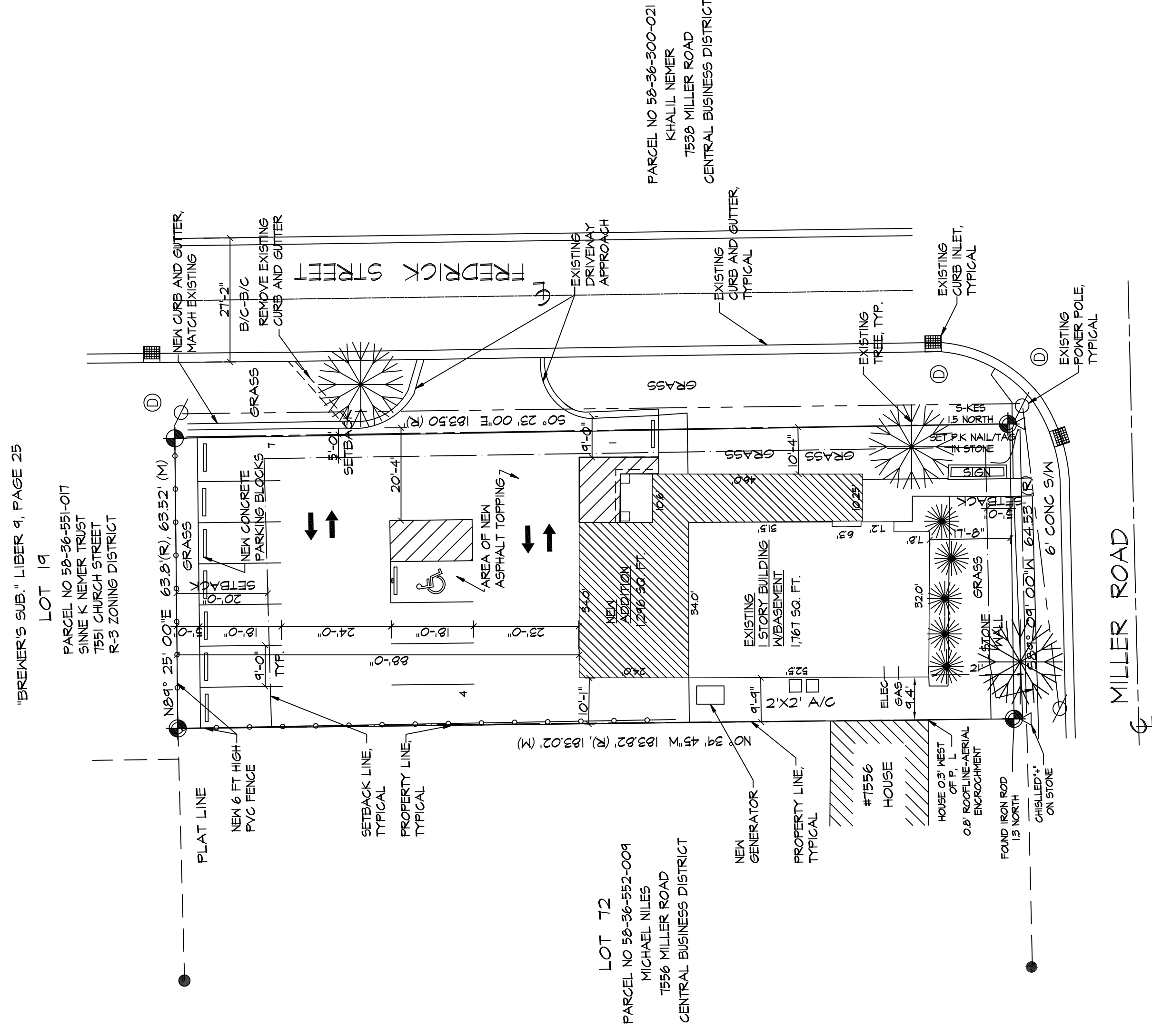
BARRIER-FREE LOADING/UNLOADING:
1 SPACE REQUIRED/1 SPACE PROVIDED
NOT REQUIRED PER ZONING SEC. 18.06 A(1).

LEGAL DESCRIPTION

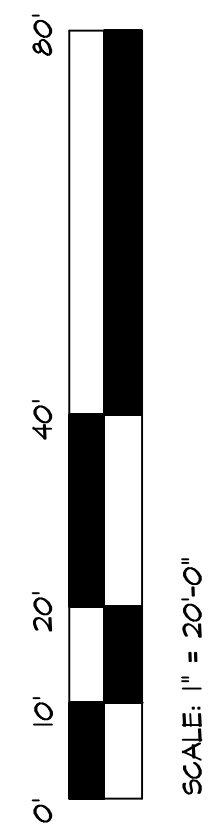
LAND SITUATED IN THE CITY OF SWARTZ CREEK, COUNTY OF GENESEE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
LOT 13, SUPERVISORS' PLAT OF SWARTZ CREEK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 11 OF PLATS, PAGE 42, GENESEE COUNTY RECORDS.

NOTES

- SITE DATA OBTAINED FROM CITY OF SWARTZ CREEK ASSESSMENT DIVISION AND PARCEL/REAL PROPERTY LOOK UP ON CITY OF SWARTZ CREEK OFFICIAL WEBSITE, AND BOUNDARY SURVEY AS PREPARED BY CITY ENGINEERS & SURVEYORS INC. ON JAN 27, 2014. ALL DIMENSIONS ARE METRIC. TOPOGRAPHIC SURVEY WAS PREPARED BY FSE SURVEYING & ENGINEERING, DATED 8-26-20.
- CALL "MISS DIG" PRIOR TO EXCAVATION FOR BUILDING OR UTILITIES.
1-800-462-1111
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- PROVIDE BARRIER-FREE SIGNAGE AND GRAPHICS AS PER 'MICHIGAN BARRIER-FREE DESIGN' REQUIREMENTS.
- PERPENDICULAR PARKING SPACES TO BE 9' WIDE (MIN.) x 18' LONG (MIN.)



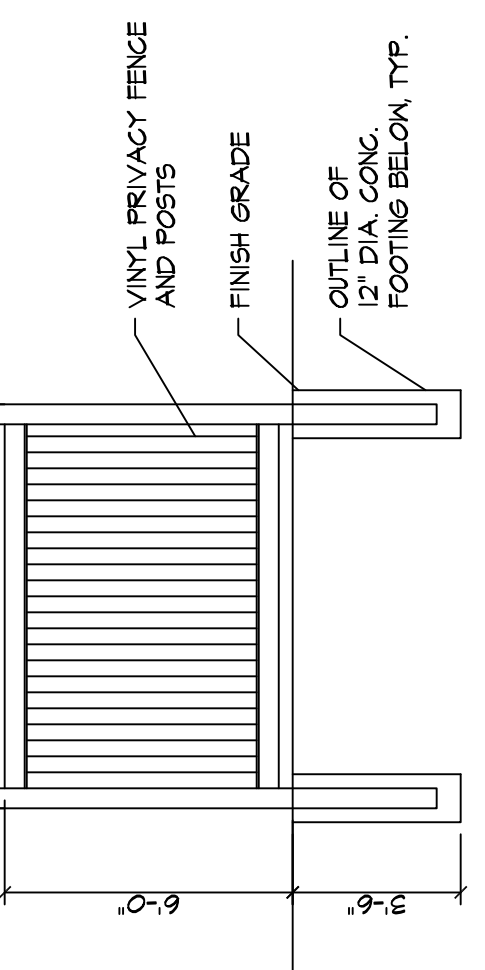
SITE DEVELOPMENT/ SKETCH PLAN
1" = 20'-0"



9/25/2020
John K. Costa

LEGEND

B.M.	BENCHMARK	⊙
F.F.	FINISHED FLOOR	▭
F.G.	FINISHED GRADE	▭
EX.	EXISTING	▭
F.M.	FIELD MEASURE	⊗
I.E.	INVERT ELEVATION	⊕
GAS MAIN	—g—	—g—
WATER MAIN	—w—	—w—
STORM SEWER	—s—	—s—
SANITARY SEWER	—s—	—s—
OVERHEAD WIRES	—oh—	—oh—
1" WATER SERVICE	—ws—	—ws—
6" SANITARY LEAD	—sl—	—sl—
PROP. SUMP LEAD	—sump—	—sump—
FENCE	—fence—	—fence—
RECORDED DISTANCE	R.	—
MEASURED DISTANCE	M.	—
SET IRON	S.I.	—
FOUND IRON	F.I.	—
FOUND CONC. MON.	F.C.M.	—
POINT OF BEGINNING	P.O.B.	—
GUTTER	G	—
CLEAN OUT	C.O.	—



FENCE ELEVATION
1/4" = 1'-0"



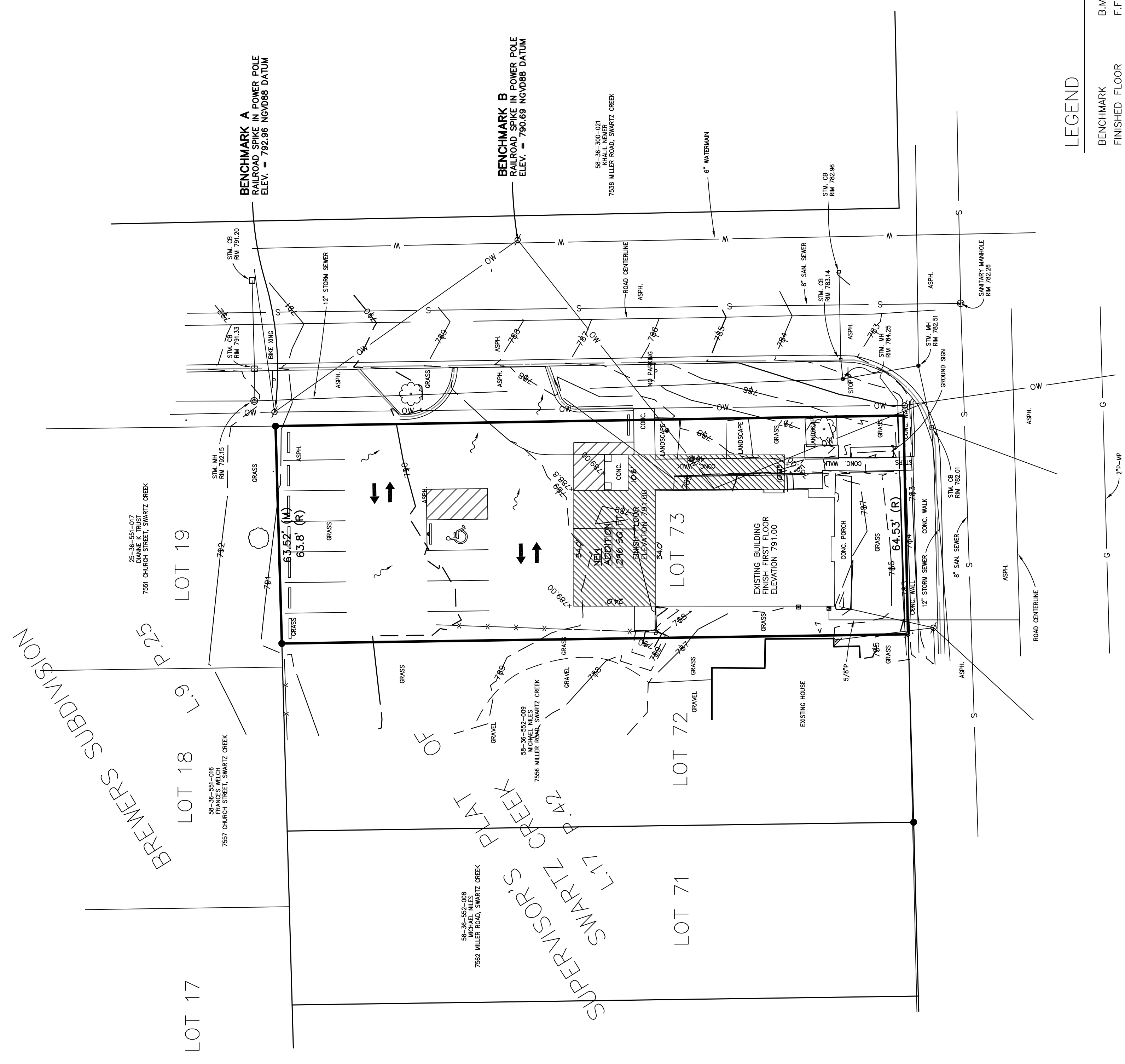
VICINITY MAP
NO SCALE



AERIAL VIEW
NO SCALE

PROJECT LOCATION

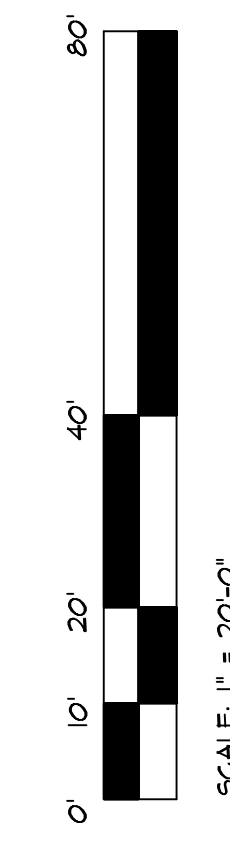
PROJECT LOCATION



LEGEND

B.M.	BENCHMARK	⊕
F.F.	FINISHED FLOOR	—
F.G.	FINISHED GRADE	—
EX.	EXISTING	—
F.M.	FIELD MEASURE	—
I.E.	INVERT ELEVATION	—
GAS MAIN	GAS MAIN	—
WATERMAIN	WATERMAIN	—
STORM SEWER	STORM SEWER	—
SANITARY SEWER	SANITARY SEWER	—
OVERHEAD WIRES	OVERHEAD WIRES	—
1" WATER SERVICE	1" WATER SERVICE	—
6" SANITARY LEAD	6" SANITARY LEAD	—
PROP. SUMP LEAD	PROP. SUMP LEAD	—
FENCE	FENCE	—
RECORDED DISTANCE	RECORDED DISTANCE	—
MEASURED DISTANCE	MEASURED DISTANCE	—
SET IRON	SET IRON	—
FOUND IRON	FOUND IRON	—
FOUND CONC. MON.	FOUND CONC. MON.	—
POINT OF BEGINNING	POINT OF BEGINNING	—
GUTTER	GUTTER	—
CLEAN OUT	CLEAN OUT	—
STORM MANHOLE	STORM MANHOLE	⊕
STORM CATCH BASIN	STORM CATCH BASIN	⊕
SANITARY MANHOLE	SANITARY MANHOLE	⊕
GATE VALVE & WELL	GATE VALVE & WELL	⊕
DET. EDISON MANHOLE	DET. EDISON MANHOLE	⊕
WATER/GAS SHUT OFF	WATER/GAS SHUT OFF	⊕
FIRE HYDRANT	FIRE HYDRANT	⊕
UTILITY POLE	UTILITY POLE	⊕
POLE OR POST	POLE OR POST	⊕
MAILBOX	MAILBOX	⊕
SIGN	SIGN	⊕
LIGHT	LIGHT	⊕
DECIDUOUS TREE	DECIDUOUS TREE	⊕
EVERGREEN TREE	EVERGREEN TREE	⊕
SECTION CORNER	SECTION CORNER	⊕
UTILITY PEDESTAL	UTILITY PEDESTAL	⊕
CULVERT	CULVERT	⊕
SHRUB	SHRUB	⊕
DRAINAGE FLOW	DRAINAGE FLOW	—

GRADING AND UTILITY PLAN
 1" = 20'-0"

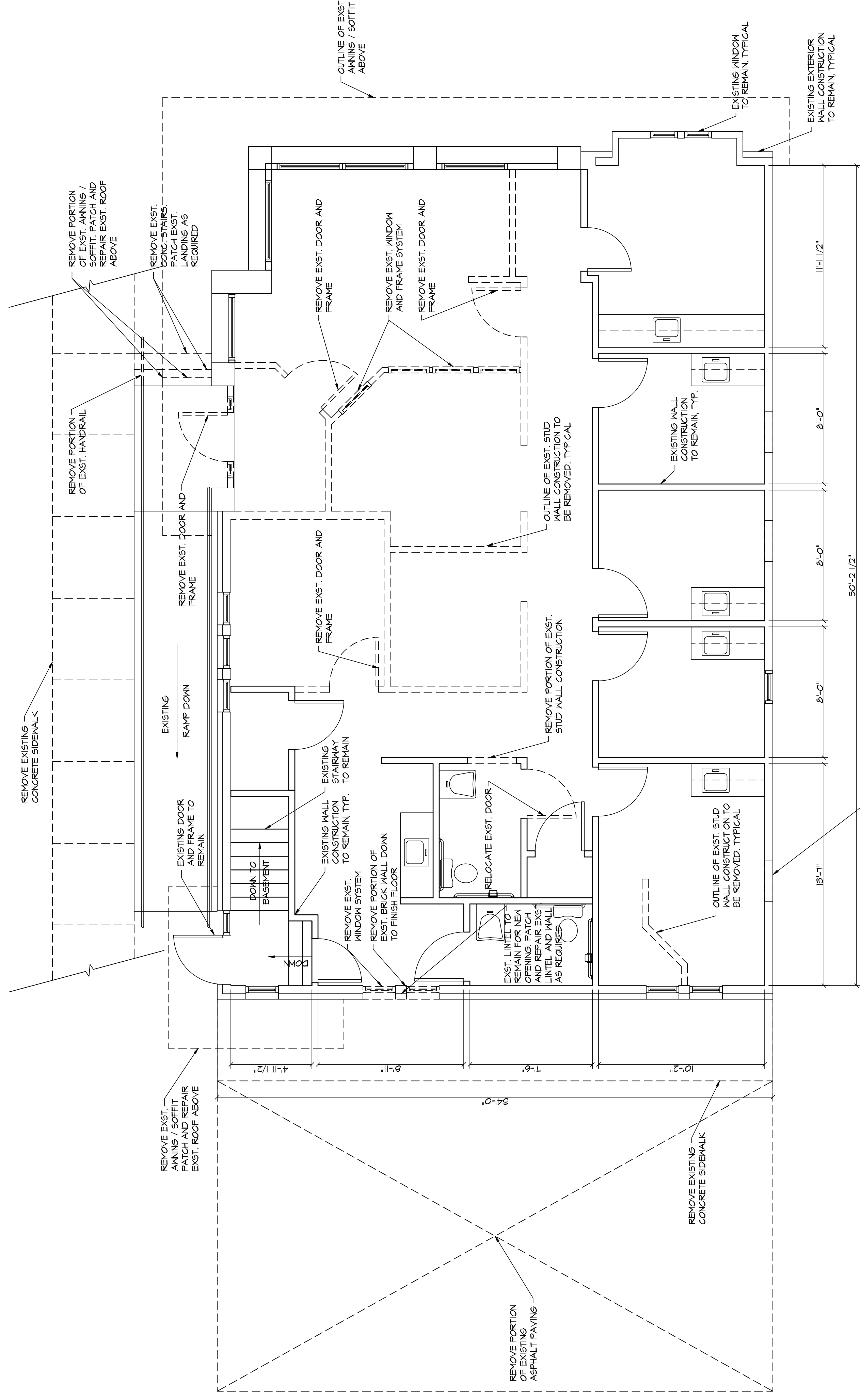


SCALE: 1" = 20'-0"

DEMOLITION PLAN,
 AND NOTES

REVISIONS	
JOB NO:	014-027
DATE:	AUG. 24, 2014
DRAWN BY:	JJK
SCALE:	1/4"=1'-0"
SHEET NO.:	A1

DEMOLITION PLAN
 1/4"=1'-0"



CONTRACTOR TO IDENTIFY AND PROVIDE SHORING FOR ALL EXISTING WALLS TO BE DEMOLISHED. PROVIDE NEW BEAMS, COLUMNS, AND WALLS AS REQUIRED.

DEMOLITION NOTES:

- D1. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE REQUIRED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
- D2. REMOVE EXISTING FLOOR, MALL, AND CEILING FINISHES AS REQ'D. AND PREPARE ALL SURFACES TO RECEIVE NEW FLOORING. COORDINATE WITH OWNER PRIOR TO DEMOLITION.
- D3. CONTRACTOR TO COORDINATE WITH OWNER ALL EXISTING SHELVING CASES AND EQUIPMENT ITEMS INDICATED TO BE REMOVED AND/OR RELOCATED PRIOR TO ANY DEMOLITION.
- D4. ALL AREAS OF DEMOLITION WHERE ADJACENT MATERIALS REMAIN, CONTRACTOR IS TO PATCH EXISTING TO MATCH EXISTING CONSTRUCTION AND FINISHES.
- D5. THE CONTRACTOR SHALL REMOVE ALL DEMOLISHED ITEMS NOT DEVOTED AS BEING RELOCATED FROM THE SITE.
- D6. REMOVE ALL ABANDONED OR INACTIVE EQUIPMENT, DUCT WORK, LIGHT FIXTURES, WIRING, ETC. COMPLETELY BACK TO WORK. COORDINATE WITH OWNER PRIOR TO DEMOLITION. ELECTRICAL CONTRACTOR PRIOR TO DEMOLITION.
- D7. CONTRACTOR TO SALVAGE AND REUSE EXISTING ITEMS BEING DEMOLISHED TO FULLEST EXTENT POSSIBLE. COORDINATE WITH OWNER.
- D8. CONTRACTOR TO REMOVE ALL EXISTING CARPET AND ADHESIVE IN PREPARATION FOR NEW FLOORING.

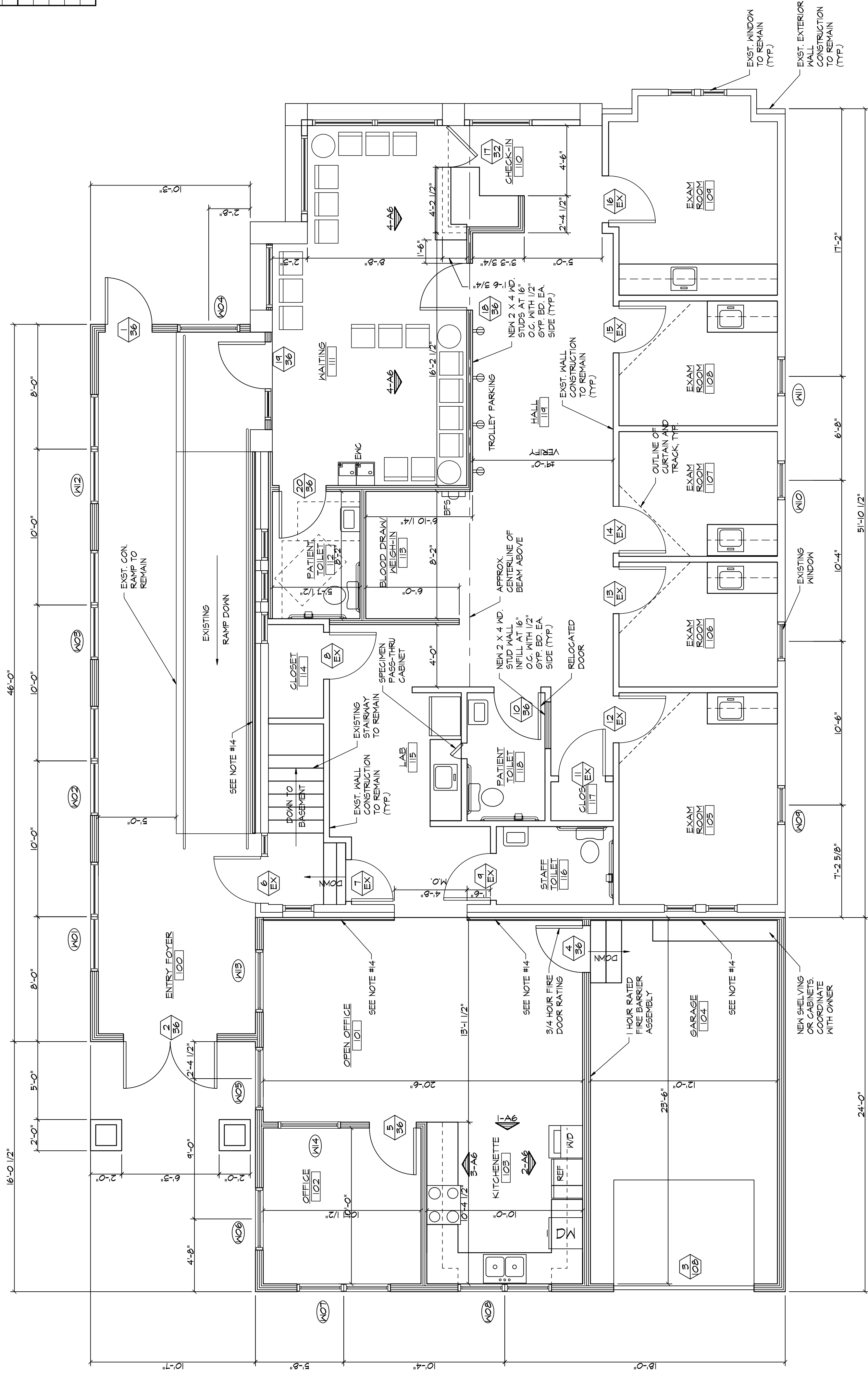
WINDOW SCHEDULE

MARK	SIZE (W"xH")	DESCRIPTION	LOCATION
M01	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M02	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M03	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M04	48" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M05	48" X 56"	FIXED W/ TRANSOM	OPEN OFFICE
M06	48" X 56"	FIXED W/ TRANSOM	OFFICE
M07	(2) 36" X 10"	FIXED W/ TRANSOM	OFFICE
M08	(2) 36" X 52"	FIXED W/ TRANSOM	KITCHENETTE
M09	24" X 76"	FIXED	EXAM ROOM
M10	24" X 76"	FIXED	EXAM ROOM
M11	24" X 76"	FIXED	EXAM ROOM
M12	(2) 42" X 72"	FIXED W/ TRANSOM	ENTRY FOYER
M13	48" X 56"	FIXED W/ TRANSOM	OPEN OFFICE
M14	48" X 48"	FIXED	OFFICE

GENERAL NOTES:

- THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
- ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
- ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYPSUM BOARDS OR TYPICAL (TYPICAL, UNLESS NOTED OTHERWISE).
- ALL NEW INTERIOR PARTITIONS ARE 2 X 4 WOOD STUDS @ 16" O.C. W/ 5/8" GYP BD. EACH SIDE UP TO 8' ABOVE FINISH CEILING MINIMUM. PROVIDE BRACING AT 4'-0" O.C. MAXIMUM AS REQUIRED (TYP. UNLESS NOTED OTHERWISE). PROVIDE SOUND ATTENUATING BATT INSULATION IN ALL NEW STUD WALL CAVITIES.
- EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH OWNER AND EQUIPMENT SUPPLIER.
- ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 601 THROUGH 606.
- CONTRACTOR IS TO COORDINATE ALL WALL CEILING, FLOOR ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- PRIOR TO INSTALLATION OF ANY PROPOSED APPLICABLE INTERIOR WALL AND CEILING FINISHES, PROVIDE TO THE CITY'S FIELD INSPECTOR DOCUMENTATION (GIT SHEETS) SHOWING THEIR CLASS, FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.
- CONTRACTOR TO UTILISE EXISTING DOOR FRAME AND HARDWARE THAT HAS BEEN REMOVED FOR REPLACEMENT IN NEW LEAVES NOTICED TO THE VENDOR, AND IN ACCEPTABLE CONDITION TO THE OWNER.
- ALL NEW AND EXISTING DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1008.14, DOOR OPERATIONS.
- CONTRACTOR TO COORDINATE ALL HARDWARE AND KEYING WITH THE OWNER PRIOR TO CONSTRUCTION. ALL BUILDING OFFICIALS REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- REWORK ALL EXISTING HVAC AND LIGHTING AS REQD. FOR NEW ROOM AND PARTITION LAYOUTS. REUSE EXISTING CIRCUITING FOR RELOCATED LIGHT FIXTURES. COORDINATE WALL RECEPTACLE AND SWITCH LOCATIONS WITH OWNER.
- PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER MICHIGAN BARRIER-FREE DESIGN REQUIREMENTS.
- NEW 5/8" GYPSUM BOARD ON 1 1/2" Furring AT EXISTING WALL CONSTRUCTION.

CONTRACTOR TO IDENTIFY AND PROVIDE SHORING FOR ALL INTERIOR LOAD BEARING WALL AND COLUMN LOCATIONS PRIOR TO ANY DEMOLITION OF BEARING WALLS OR COLUMNS. PROVIDE NEW BEAMS, COLUMNS, AND WALLS AS REQUIRED.



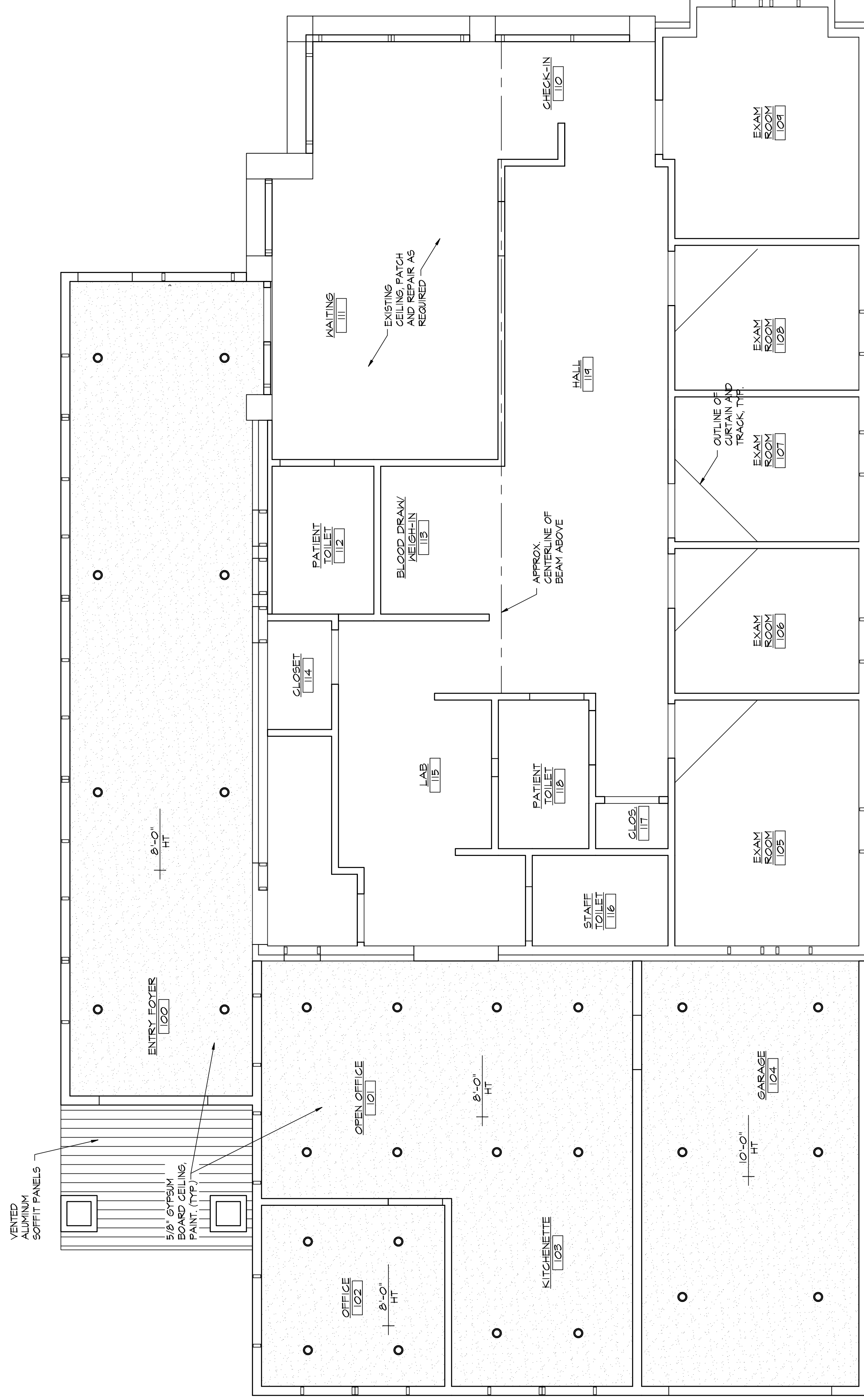
FLOOR PLAN
 1/4"=1'-0"

REFLECTED CEILING PLAN
 AND NOTES

REVISIONS

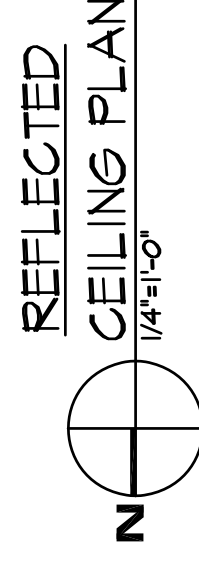
JOB NO: 019-083
 DATE: 12-11-2019
 DRAWN BY: JKC, OWH
 SCALE: AS NOTED
 SHEET NO:

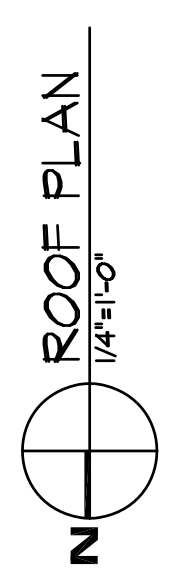
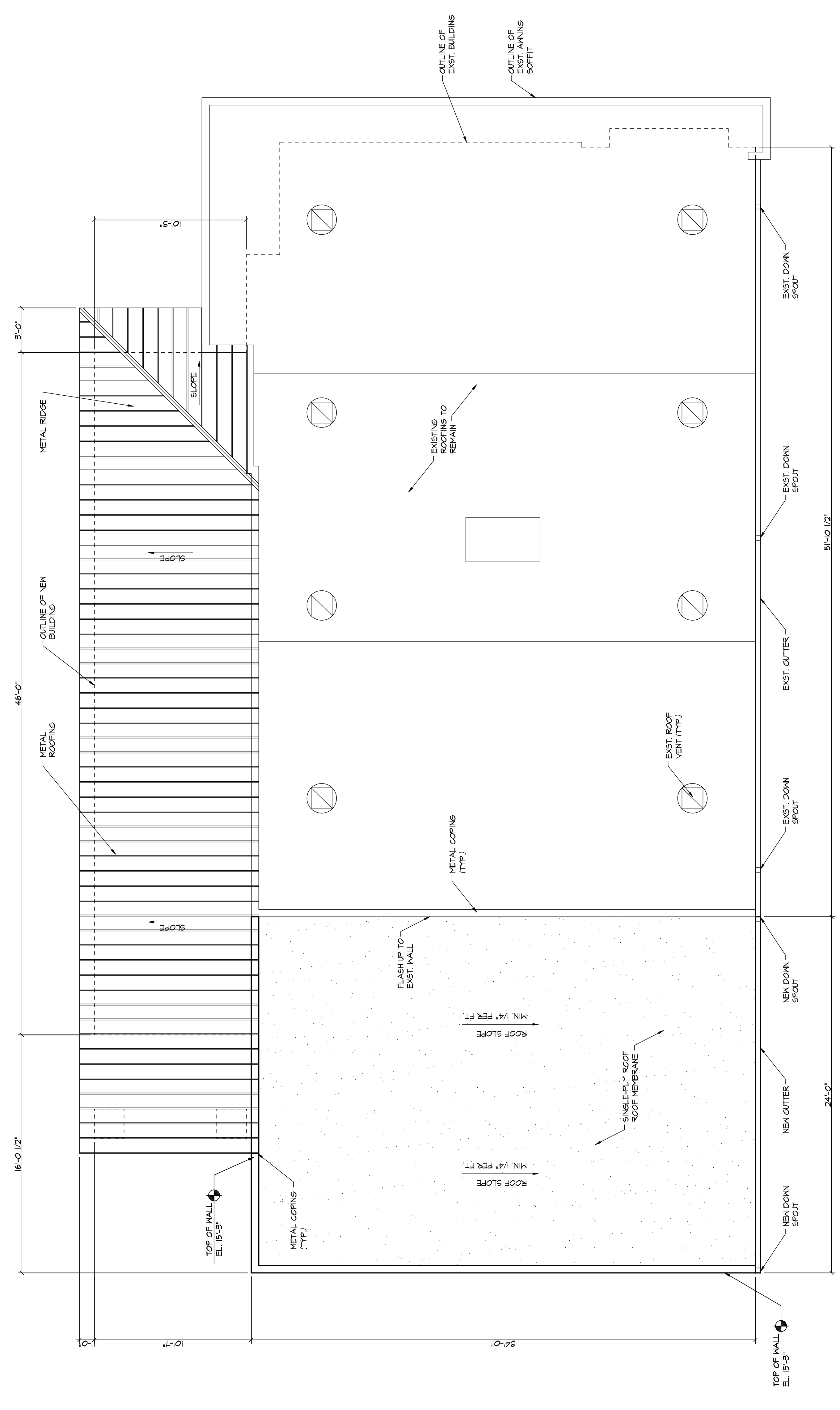
A3



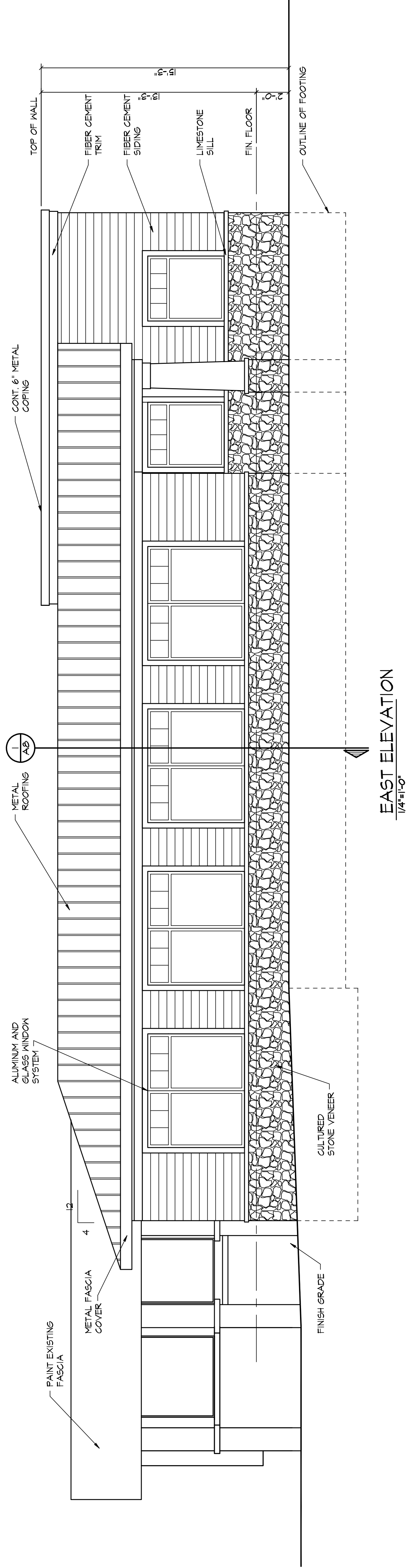
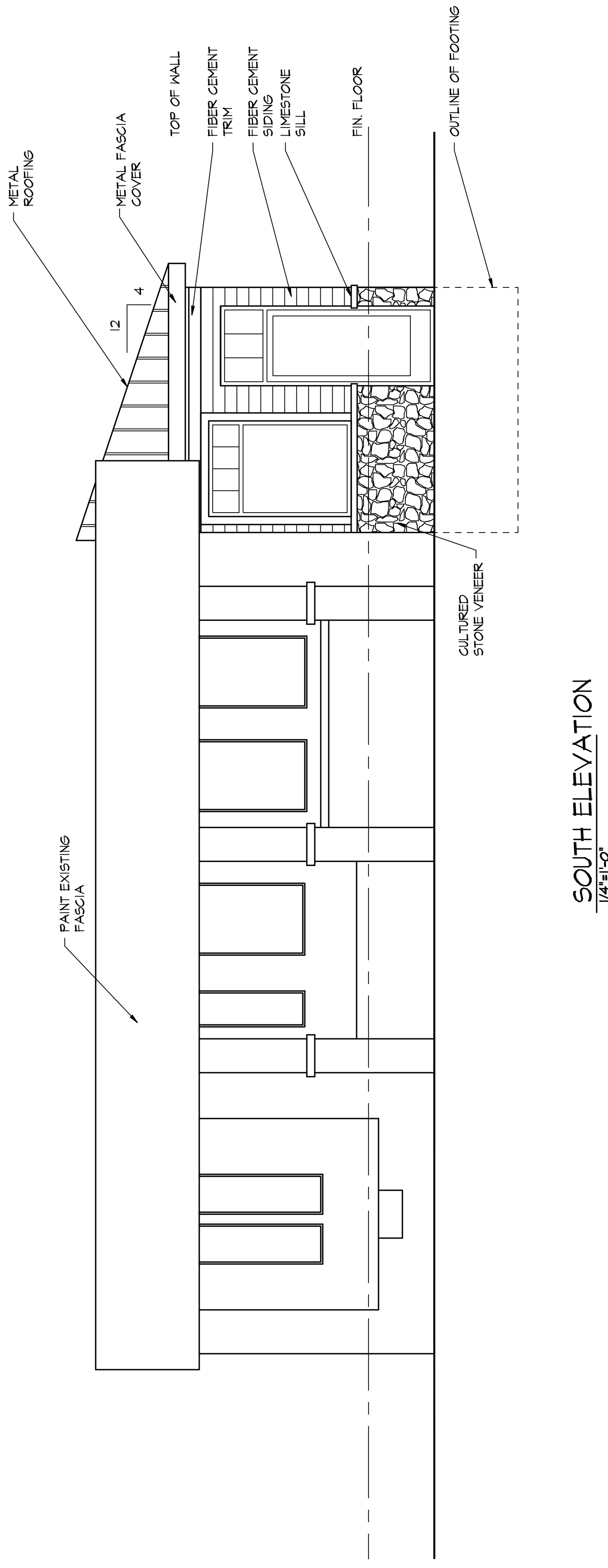
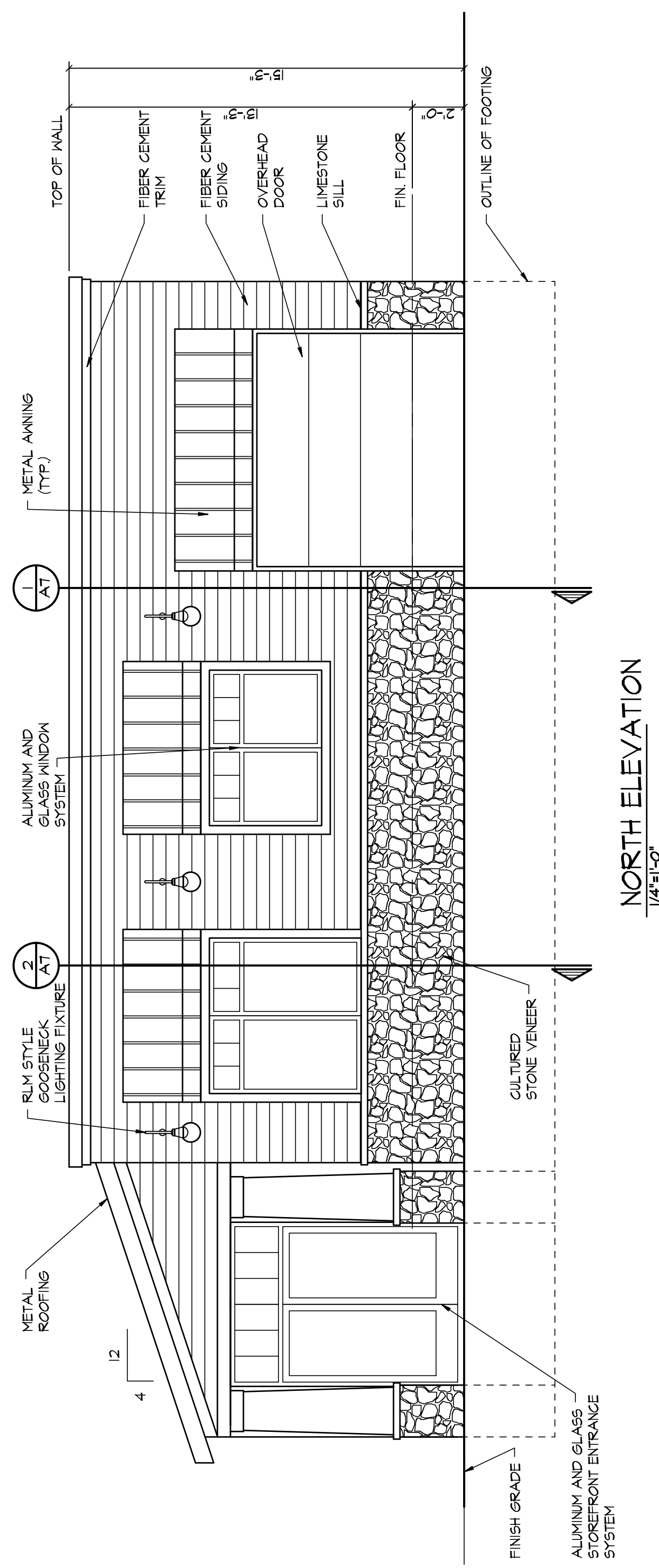
TYPE	SYMBOL	DESCRIPTION
"A"	[Symbol: 2x4 recessed fluorescent fixture]	2 x 4 RECESSED FLUORESCENT FIXTURE
"A-1"	[Symbol: 2x2 recessed fluorescent fixture]	2 x 2 RECESSED FLUORESCENT FIXTURE
"B"	[Symbol: 150 K recessed downlight]	150 K RECESSED DOWNLIGHT
"EXEM"	[Symbol: Combination emergency light]	COMBINATION EMERGENCY LIGHT
	[Symbol: Return air grille]	RETURN AIR GRILLE
	[Symbol: Supply air square diffuser]	SUPPLY AIR SQUARE DIFFUSER
	[Symbol: GYP. BD.]	GYP. BD.
	[Symbol: Exhaust fan]	EXHAUST FAN

CONTRACTOR TO IDENTIFY AND PROVIDE SCHED FOR ALL WORK AND BEING MADE TO ALL ROOMS PRIOR TO ANY DEMOLITION OF BEARING WALLS OR COLUMNS. PROVIDE NEW BEAMS, COLUMNS, AND WALLS AS REQUIRED.





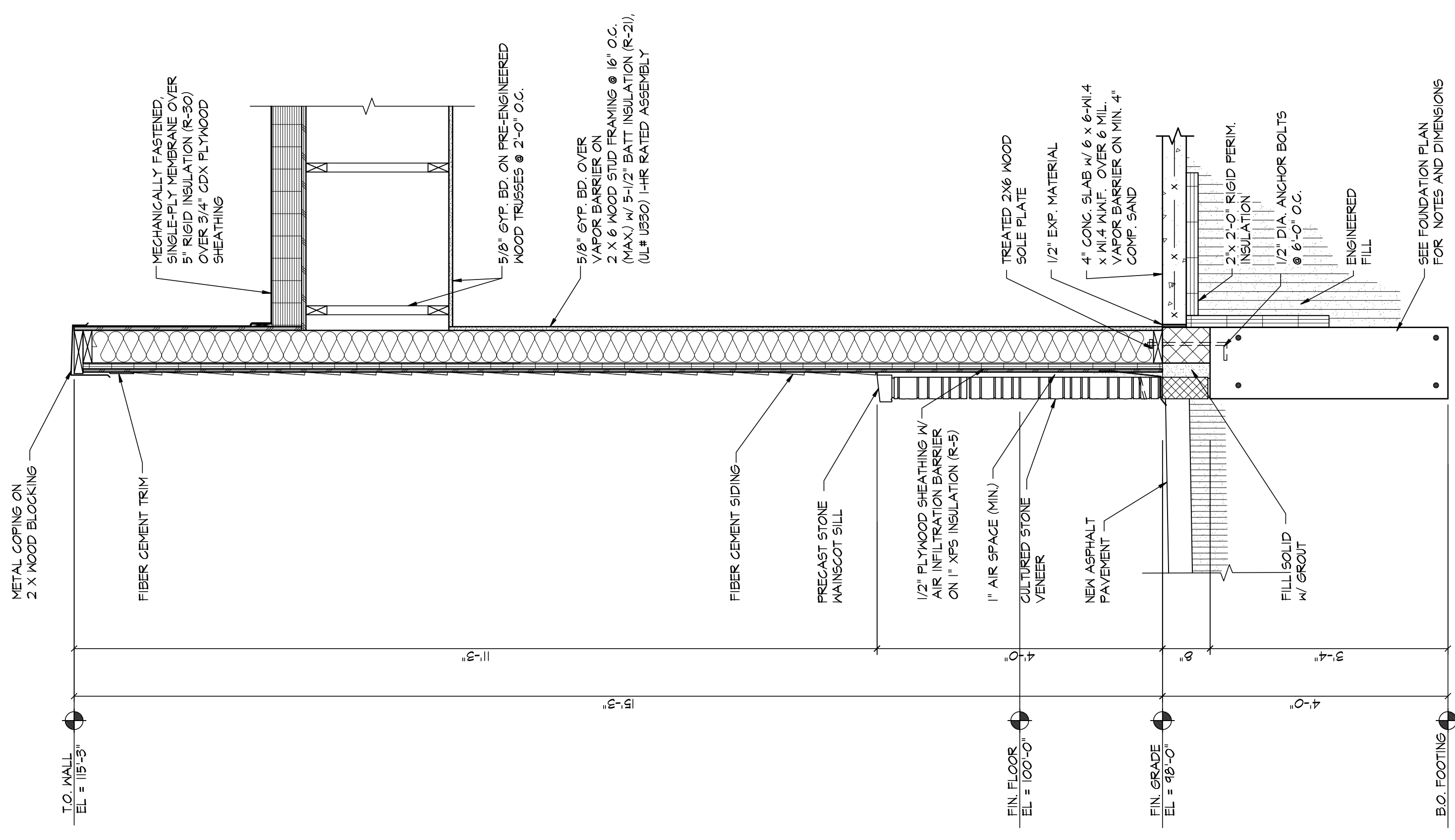
ROOF PLAN



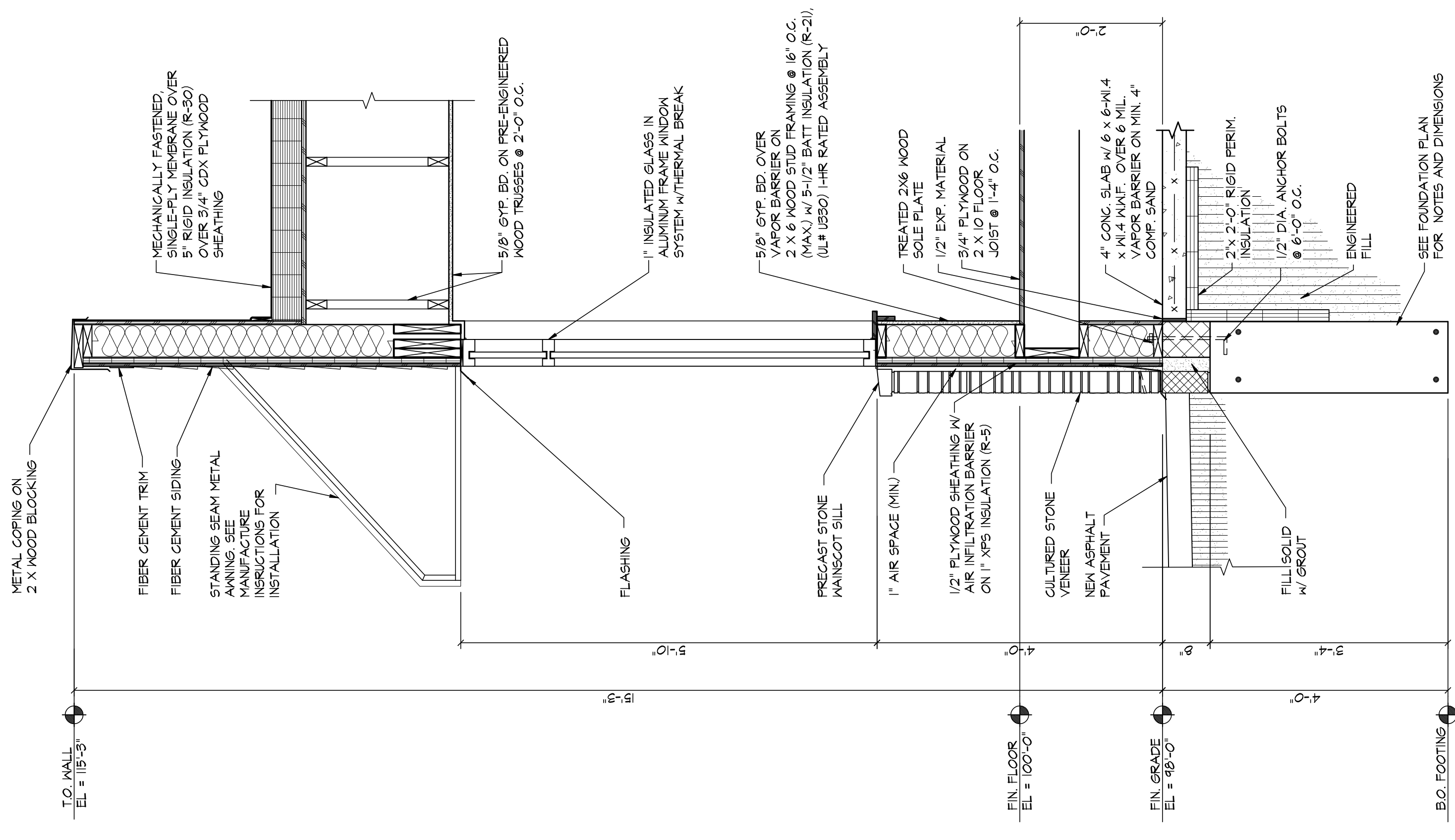
WALL SECTIONS

NO.	REVISIONS

JOB NO: 01H-C993
 DATE: 2-12-2020
 DRAWN BY: JSC, OWH
 SCALE: AS NOTED
 SHEET NO:



1 WALL SECTION
 AT 3/4" = 1'-0"

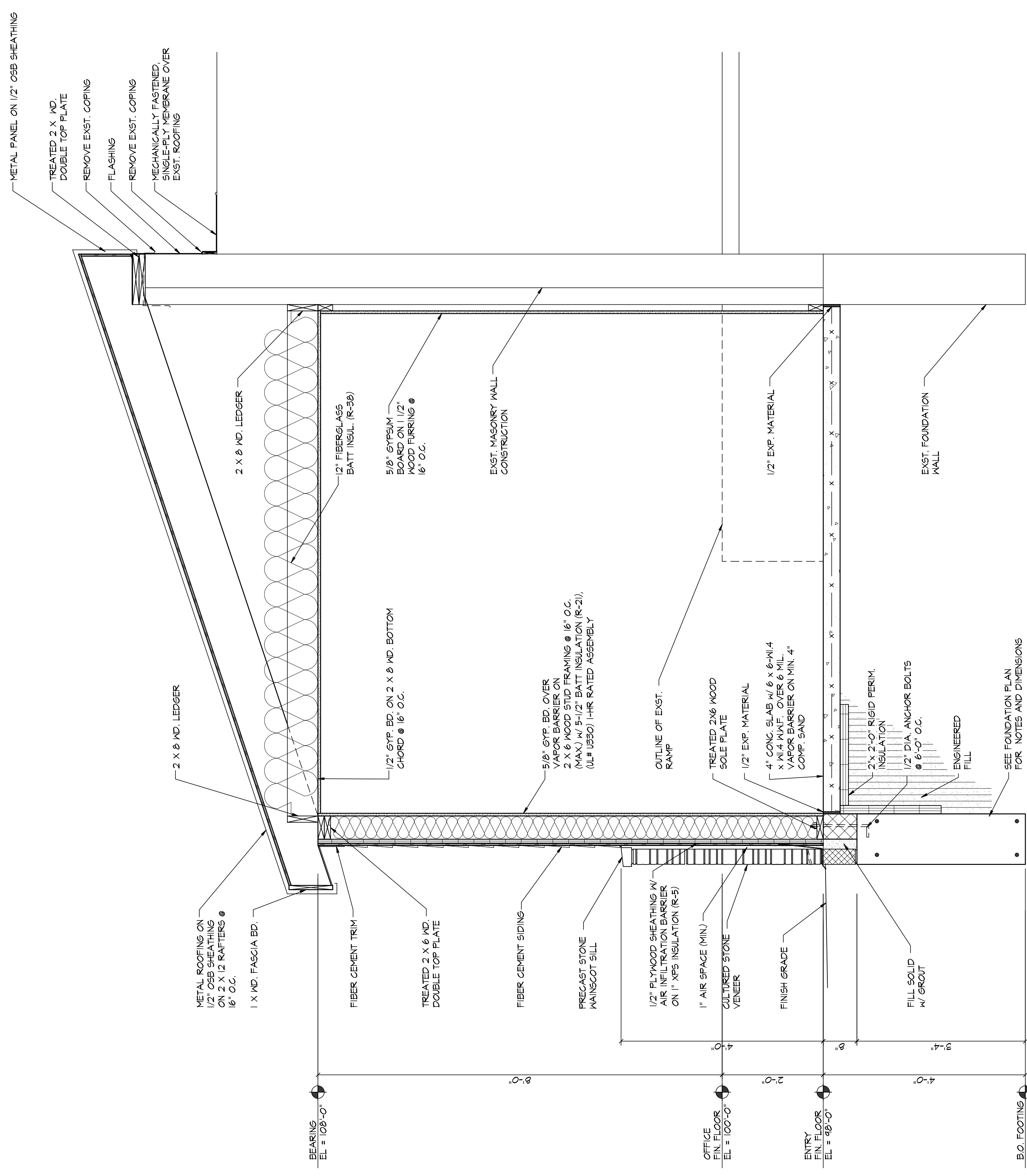


2 WALL SECTION
 AT 3/4" = 1'-0"

REVISIONS

JOB NO: 01H-C93
 DATE: 2-12-2020
 DRAWN BY: JSC, OAH
 SCALE: AS NOTED
 SHEET NO:

A8



1 WALL SECTION
 A8 3/4" = 1'-0"